



**CITY OF LEMON GROVE
PLANNING COMMISSION REGULAR MEETING AGENDA**

Monday, June 27, 2022 at 6:00 p.m.

**Lemon Grove Community Center
3146 School Lane, Lemon Grove, CA**

For everyone's protection, all attendees must maintain a safe social distance. Face coverings are optional but strongly recommended during the meeting.

Planning Commission

Robert Bailey, Chair
Stephen Browne, Vice Chair
Seth Smith, Commissioner
Miranda Evans, Commissioner
Emily Jacobs, Commissioner

A complete agenda packet is available for review on the [City's website](#)

Call to Order

Pledge of Allegiance

Changes to the Agenda

Public Comment

Digitally submitted public comments received by the Planning Commission Clerk at amalone@lemongrove.ca.gov will not be read out-loud during the meeting. However, they will be provided to the Planning Commission and remain part of the meeting's records. Per the Lemon Grove Municipal Code Section 2.14.150, live comments are allotted a maximum of three (3) minutes.

Public Hearing(s)

(Note to Speakers: The Chair will ask each speaker to remain at the podium until the Commissioners have had the opportunity to ask questions about his or her testimony. APPEALS TO THE CITY COUNCIL MAY BE FILED ON FORMS AVAILABLE IN THE OFFICE OF THE COMMUNITY DEVELOPMENT DEPARTMENT. APPEALS OF DECISIONS MUST BE FILED WITHIN TEN (10) DAYS.)

1. Public Hearing to Consider Planned Development Permit No. PDP-210-0001; A Request to Construct a 2,688 Square Foot Construction Warehouse at an Existing Vacant Lot Located at 3450 West Street in the General Commercial – Heavy Commercial (GC-HC) zone

Reference: Takuma Easland, Assistant Planner

Recommendation: 1) Conduct the public hearing; 2) Receive Public Comment; and 3) Adopt a resolution approving Planned Development Permit No. PDP-210-0001; a request to authorize the construction of a 2,688 sq. ft. construction warehouse at an existing vacant lot located at 3450 West St. in the General Commercial – Heavy Commercial (GC-HC) zone.

Business from the Community Development Manager

Business from the Planning Commission Attorney

Planning Commission Oral Reports on Meeting Attended at the Expense of the City

Adjournment:

AFFIDAVIT OF NOTIFICATION AND POSTING
STATE OF CALIFORNIA)
COUNTY OF SAN DIEGO) SS
CITY OF LEMON GROVE)

I, Audrey Malone Planning Commission Clerk for the City of Lemon Grove, hereby declare under penalty of perjury that a copy of the above Agenda of the Regular Meeting of the Planning Commission of the City of Lemon Grove, California, was delivered and/or notice by email not less than 72 hours before the hour of 6:00 pm on June 23, 2022 to the members of the governing agency, and caused the agenda to be posted on the City's website at www.lemongrove.ca.gov and at Lemon Grove City Hall, 3232 Main Street Lemon Grove, CA 91945.

/s/ Audrey Malone
Planning Commission Clerk

In compliance with the Americans with Disabilities Act (ADA), the City of Lemon Grove will provide special accommodations for persons who require assistance to access, attend and/or participate in meetings of the City Council. If you require such assistance, please contact the City Clerk at (619) 825-3800 or email amalone@lemongrove.ca.gov. A full agenda is available for public review at City Hall.



CITY OF LEMON GROVE

PLANNING COMMISSION STAFF REPORT

Item No. 1.
Meeting Date: June 27, 2022
Submitted to: Planning Commissioners
Department: Community Development Department
Staff Contact: Takuma Easland, Assistant Planner;
teasland@lemongrove.ca.gov

Item Title: **Public Hearing to Consider Planned Development Permit No. PDP-210-0001; A Request to Construct a 2,688 Square Foot Construction Warehouse at an Existing Vacant Lot Located at 3450 West Street in the General Commercial – Heavy Commercial (GC-HC) zone**

Recommended Action:

- 1) Conduct the public hearing;
- 2) Receive Public Comment; and
- 3) Adopt a resolution (**Attachment A**) approving Planned Development Permit No. PDP-210-0001; a request to authorize the construction of a 2,688 sq. ft. construction warehouse at an existing vacant lot located at 3450 West St. in the General Commercial – Heavy Commercial (GC-HC) zone.

Summary: On March 1, 2021, the applicant submitted Planned Development Permit (PDP) application No. PDP-210-0001 and after three review cycles, the PDP application was deemed complete on June 9, 2022. The PDP application requests approval to construct a 2,688 sq. ft. construction warehouse at an existing vacant lot located at 3450 West St. in the General Commercial – Heavy Commercial (GC-HC) zone. The project, as proposed and conditioned in the resolution (**Attachment A**), complies with applicable General Plan policies Municipal Code regulations.

Background: An application for a General Plan Amendment (GPA06-002), a Zoning Amendment (ZA06-0002), and Planned Development Permit (PDP06-011) was submitted on August 18, 2006 to authorize the construction of a 2,036 contractor office/storage building and outdoor storage yard on a vacant property located at 3450 West St. The application was deemed complete on March 27, 2008 and subsequently approved by City Council on June 3, 2008.

On September 22, 2009, the applicant applied for a building permit (Boo-900-276) which later expired. The applicant then applied for a Substantial Conformance Review (SCR) of PDP06-011 on February 6, 2012, to add an additional 530 sq. ft. to the allowed construction. The SCR, as well as, a two year time extension of PDP06-011 was approved on March 1, 2012.

On March 3, 2014, the applicant applied for building permit B14-000-0022 which also eventually expired. As PDP06-011 had expired in 2014, on March 1, 2021, the applicant applied for PDP-210-0001 to authorize the construction of a 2,688 sq. ft. construction warehouse.

Discussion: The proposed PDP application requests approval to construct a single-story 2,688 sq. ft. contractors storage warehouse at an existing vacant lot located at 3450 West St. in the General Commercial – Heavy Commercial (GC-HC) zone. Within the warehouse, and included in the 2,688 square foot calculation, is a 190 square foot office space. 3450 West St. is located within the Special Treatment Area (STA) III, Regional Commercial, overlay district. The Lemon Grove Municipal Code (LGMC) Section 17.20.010 requires a PDP for all new developments in this STA.

Site and Project Description

The subject of the Planned Development Permit (PDP) application is the 17,392 square foot (0.40 acre) parcel addressed as 3450 West Street. The property is located on the west side of West Street between Broadway and North Avenue. The vacant lot is rectangular and relatively flat. 3450 West Street is approximately 0.5 miles west of the Lemon Grove Depot trolley station. Immediately surrounding land uses consist of an auto repair shop and multi-family residential to the north, Food 4 Less to the east, commercial businesses to the south, and a pet hospital and body shop to the west. The site is currently vacant save for a small shed, which will be demolished.

On the western edge of the property is an existing 22'6" stormwater easement that curves and narrows along the northern property line. A 10 foot sewer easement exists along the southern property line and a 10 foot dedication for public right-of-way is provided along the eastern property line front on West Street, as required under Section 12.10.050 of the Lemon Grove Municipal Code (LGMC).

The proposed warehouse building is a Type V wood frame construction single story building 26'3" in height. The lower half of the proposed warehouse will have a brick veneer and stucco siding while the top half will have vertical metal siding painted in a neutral color. The warehouse will have a standing seam metal roof. In addition to the warehouse, the project proposes a 2,198 square foot concrete pad, five off-street parking spaces, a metal picket fence with three telescopic electric gates, sidewalk improvements, and 2,140 square feet of landscaping along the property lines

Municipal Code

The proposed project is located within the mixed General Commercial – Heavy Commercial (GC-HC) zone. The General Commercial (GC) zoning district in Section 17.16.070 is available to auto-oriented, generally large-scale businesses and activities offering retail goods and services meant to serve the needs of local and regional shoppers. The Heavy Commercial (HC) zoning district in Section 17.16.080 is available to heavier, more obtrusive types of retail, semi-industrial, and service uses that do not require pedestrian traffic or high visibility, and are not compatible with consumer-oriented retail activities.

LGMC Section 17.16.070 (E) (14) defines “warehouse” as uses engaged in bulk storage as well as storage by individuals in separate storage compartments. “Warehouse” uses are a permitted use in the HC zone and require a Conditional Use Permit (CUP) in the GC zone. The proposed project is also located within STA III, Regional Commercial overlay zone. The STA III overlay zone described in LGMC Section 17.16.070 (F) is planned for continued redevelopment with large retail stores. Uses within this STA shall serve both local residents and attract shoppers from adjacent communities. Until new land use regulations are developed to implement the regional commercial policies of the general plan, land use will be governed by the regulations of the zoning categories currently in place.

According to LGMC Section 17.16.070 (F) (1), within STA III, a PDP is required for all development regardless of the size of the property, the intensity of the proposed activity, or the size of proposed structures

Development Standards

LGMC Sections 17.16.070(G) outlines basic standards which are applicable to all land and structures in the GC zoning district. The following table compares the standards for the GC and HC zones and the project’s conformance to those standards.

Criteria	GC Standards	HC Standards	Project (Exhibit A)
Minimum Yards (Setbacks)	Front: 25 ft. Side: No minimum Rear: 15 ft.	Front: 20 ft. Side: No minimum Rear: No minimum	Front: 29 ft. 11 in. Side: 10 ft. (south) / 84 ft. (north) Rear: 22 ft. 6 in.
Maximum Building Height	30 ft.		26 ft., 3 in

Maximum Building Coverage	35%	40%	15%
Off-Street Parking	One space per 500 sq. ft. of floor area = 5 spaces		5 spaces

The proposed project complies with these development standards.

Traffic

The *Brief Guide of Vehicular Traffic Generation Rates for the San Diego Region (SANDAG, April 2002)* was referenced to calculate the estimated trip generation for the proposed project. This PDP application requests approval to construct a 2,688 sq. ft. warehouse with a 190 sq. ft. office inside. Using the trip generation rate of five trips per KSF (thousand square feet) for *Warehousing*, the proposed project is expected to generate a total of 14 daily trips with two morning peak-hour trips (1 in / 1 out) and two afternoon peak-hour trips (1 in / 1 out). In addition, the applicant anticipates 1-2 truck trips per week.

Off-Street Parking

The zoning code does not include a parking standard specifically for storage warehouse, thus, *Manufacturing/Research and Development* was determined as the most similar use to a storage facility. However, the rate for manufacturing is intended for developments in a warehouse setting and do not directly apply to a storage land use. Storage facilities generally require a much lower need for parking than other manufacturing and research uses.

Using *Manufacturing/Research and Development* as the use, the Lemon Grove parking requirement is one parking space per 500 square feet of floor area (LGMC 17.24.010). Thus, 5 parking spaces is the minimum amount of parking required. The proposed project provides 5 parking spaces including 1 disabled space which meets the requirement.

Landscaping

The Lemon Grove Water Efficient Landscape Regulations in Chapter 18.44 of the LGMC require discretionary applications to provide landscaping that conforms to both the Zoning Ordinance and the aforementioned landscape regulations. Landscaping requirements and the proposed conditions for the project are as follows:

Criteria	Required	Provided
Landscape Area	2,609 sq. ft. <i>(Min. 15% of lot size)</i>	2,140 sq. ft. (12.3%)
Planted Landscape	652 sq. ft. <i>(Min. 25% of landscape area)</i>	2,140 sq. ft. (100%)
On-Site Trees	2 <i>(One tree per 1,000 sq. ft. of landscape area)</i>	7
Street Trees	5 <i>(One tree per 30 linear feet of street frontage)</i>	0

The proposed project is in compliance with Lemon Grove landscaping requirements except for minimum landscape area and the number of street trees. As the project proposes 2,140 square feet of landscape area, an additional 469 square feet will need to be added. As a result, the square footage of planted landscape area would change, however, it is already well above the minimum. Additionally, five street trees will need to be added. Conditions are included in the resolution (**Attachment A**) to provide an additional 469 square feet of landscaped area and 5 street trees on West Street.

LGMC Section 17.24.050(B) requires all landscaping to be installed and maintained in accordance with an approved Landscape Plan. A landscaping plan must be prepared in substantial conformance with the PDP prior to construction. A standard condition is included in the draft resolution (**Attachment A**) to maintain landscaping in good condition at all times.

Screening

The project plans show a 6-foot metal picket fence will be installed along the perimeter of the property. 35' and 45' telescopic electric gates will be installed along West Street while a 25' telescopic electric gate will be installed along Lemon Avenue. The telescopic gate on West Street stacks into the public right-of-way beyond the dedication line. A condition in the draft resolution (**Attachment A**) requires the gate stacking to occur within the project site, outside of the public right-of-way dedication line.

Any new rooftop HVAC units must be screened. LGMC Section 17.24.050(E) (10) requires such units to be screened from the level of adjacent streets and walks while Section 17.24.040(C) (1) limits this screening, and any other rooftop appurtenance, to less than eight (8) feet in height. The new parapet wall on top of the existing building can provide effective HVAC screening. Screening of rooftop HVAC equipment is included as a condition in the planning commission resolution (**Attachment A**).

The required trash enclosure will be located on the west side of the building and will be required to comply with refuse enclosure regulations found in LGMC Section 17.24.050(M).

Findings: The Planning Commission must make the following five findings as stated in LGMC Section 17.28.030 in order to approve the PDP application. Staff believes the findings can be made in the affirmative, as described below.

1. The development is not detrimental to the public interest, health, safety, or general welfare:
The proposed construction warehouse to be used for contractor's storage is compatible with the commercial uses in the vicinity. The development would not be detrimental to the public interest, health, safety, or general welfare because the building would be built to meet all health and safety requirements of current building and fire codes. The site would be secured with perimeter fencing, and minimal automobile (14 daily trips) and truck traffic (1-2 trucks per week) would have minimal impact on the neighborhood and street network.
2. The development complies with applicable provisions of this title and/or deviations that comply with applicable provisions in subsection D:
The project was reviewed by the City's Engineering, Stormwater, Fire, Planning and Building Departments for conformance with the Lemon Grove Municipal Code and Zoning Ordinance. The project, as conditioned, meets all of the applicable provisions in subsection D.
3. The development is consistent with general plan policies and standards and other applicable plans or policies adopted by the city council:
The proposed use is consistent with the General Plan range of uses including compatible commercial uses that are auto-oriented. The project is consistent with the Community Development Element of the General Plan that encourages new commercial development to improve the overall community aesthetic and development conditions.
4. The development density or intensity does not exceed general plan limitations:
The project is consistent with the Lemon Grove General Plan land use designation of Retail Commercial and STA III Regional Commercial intensity floor area ratio (FAR) standard of 0.5 FAR per net acre with a proposed FAR of 0.15.
5. Existing infrastructure such as utilities, transportation systems, and communication networks adequately serve the development or will be upgraded to efficiently accommodate the additional burdens imposed:

The project site can be adequately served by all utilities, the transportation system, and communication networks to accommodate the proposed development.

Environmental Review:

- Not subject to review
- Categorical Exemption
- Negative Declaration
- Mitigated Negative Declaration

Categorically exempt projects are determined not to have a significant effect on the environment pursuant to Public Resources Code Section 21084 and are therefore exempt from the provisions of the California Environmental Quality Act (CEQA). The project is consistent with Categorical Exemption Section 15332, In-Fill Development Projects. The Class 32 CEQA exemption applies when the:

1. Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations;
2. Proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
3. The project site has no value as habitat for endangered, rare or threatened species;
4. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality;
5. The site can be adequately served by all required utilities and public services.

The project consists of developing an existing 0.4-acre infill site. The proposed warehouse use is consistent with the GC-HC zoning designation and Regional Commercial land use classification of the General Plan, as detailed in the preceding discussion section of this report. No impacts to habitat were identified as part of the proposed project is an infill site in a developed, urban setting without natural biological habitat according to the Conservation and Recreation Element of the General Plan. The project shall be required to comply with all performance standards found in LGMC Section 17.24.080, which include standards for noise, glare, traffic circulation, airborne emissions, etc. Lastly, will-serve letters from utility providers were submitted as part of the application from applicable agencies. The scope of the project is therefore consistent with the Section 15332 exemption for In-Fill Development projects.

Fiscal Impact: No fiscal impact.

Public Notification: The Notice of Public Hearing for this item was published in the June 17, 2022 edition of the San Diego Union Tribune and was mailed to all property owners within 500 feet of the subject property.

Additionally, the applicant posted a non-commercial sign at the project site, which provided a conceptual drawing of the project and the contact information for the assigned city staff.

The City of Lemon Grove did not receive any comments in response to the Notice of Public Hearing at the time this staff report was prepared. At the time of the public hearing, staff will provide the Planning Commission with any comments received after the date this staff report was prepared.

Staff Recommendation:

- 1) Conduct the public hearing;
- 2) Receive Public Comment; and
- 3) Adopt a Resolution (**Attachment A**) approving Planned Development Permit No. PDP-210-0001; a request to authorize the construction of a 2,688 sq. ft. construction warehouse at an existing vacant lot located at 3450 West St. in the General Commercial – Heavy Commercial (GC-HC) zone

Attachments:

Attachment A – Draft Resolution for PDP-210-0001

Attachment B – Vicinity Map

Attachment C – Project Plans

RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMON GROVE, CALIFORNIA, CONDITIONALLY APPROVING PLANNED DEVELOPMENT PERMIT PDP-210-0001; A REQUEST TO AUTHORIZE THE CONSTRUCTION OF A 2,688 SQ. FT. CONSTRUCTION WAREHOUSE AT AN EXISTING VACANT LOT LOCATED AT 3450 WEST ST. IN THE GENERAL COMMERCIAL – HEAVY COMMERCIAL (GC-HC) ZONE

WHEREAS, on March 1, 2021 the applicants filed an application for a Planned Development Permit No. PDP-210-0001 for the development of a new 2,688 sf construction warehouse at 3450 West Street in the GC – HC Zone, and after three review cycles, on June 9, 2022, the application was deemed complete; and

WHEREAS, Notice of the Public Hearing was given in compliance with Lemon Grove Section 17.28.020(F). On June 16, 2022, the Notice of Public Hearing for PDP-210-0001 was posted to the City website, posted at City Hall, and mailed to all property owners within 500 feet of the subject property; and

WHEREAS, the Notice of Public Hearing for this item was published in the June 17, 2022 edition of the San Diego Union Tribune; and

WHEREAS, on June 27, 2022, the Planning Commission held a duly noticed public hearing to consider Planned Development Permit PDP-200-0001; and

WHEREAS, the Planning Commission has considered said Planned Development Permit (PDP-200-0001) and recommendations of the Community Development Department, City Engineer, and the Heartland Fire Department with respect thereto and has determined that the conditions hereinafter enumerated are necessary to insure that the improvements thereof will conform to all ordinances, plans rules, standards and improvement and design standards of the City of Lemon Grove; and

WHEREAS, the Planning Commission finds that the Planned Development Permit complies with the findings of fact required to approve this project pursuant to Development Code Section 17.28.030(C) as follows:

1. The development is not detrimental to the public interest, health, safety, or general welfare;

The proposed construction warehouse to be used for contractor's storage is compatible with the commercial uses in the vicinity. The development would not be detrimental to the public interest, health, safety, or general welfare because the building would be built to meet all health and safety requirements of current building and fire codes. The site would be secured with perimeter fencing, and minimal automobile (14 daily trips) and truck traffic (1-2 trucks per week) would have minimal impact on the neighborhood and street network.

2. The project was reviewed by the City's Engineering, Stormwater, Fire, Planning and Building Departments for conformance with the Lemon Grove Municipal Code and Zoning Ordinance;

The project was reviewed by the City's Engineering, Stormwater, Fire, Planning and Building Departments for conformance with the Lemon Grove Municipal Code and Zoning Ordinance. The project, as conditioned, meets all of the applicable provisions in subsection D.

3. The development is consistent with general plan policies and standards and other applicable plans or policies adopted by the city council;

The proposed use is consistent with the General Plan range of uses including compatible commercial uses that are auto-oriented. The project is consistent with the Community Development Element of the General Plan that encourages new commercial development to improve the overall community aesthetic and development conditions.

4. The development density or intensity does not exceed general plan limitations;

The project is consistent with the Lemon Grove General Plan land use designation of Retail Commercial and STA III Regional Commercial intensity floor area ratio (FAR) standard of 0.5 FAR per net acre with a proposed FAR of 0.15.

5. Existing infrastructure such as utilities, transportation systems, and communication networks adequately serve the development or will be upgraded to efficiently accommodate the additional burdens imposed;

The project site can be adequately served by all utilities, the transportation system, and communication networks to accommodate the proposed development.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemon Grove, California hereby approves Planned Development Permit PDP-200-0001 with the following conditions.

SECTION 1. *Approve Planned Development Permit No. PDP-210-0001 in conjunction with the grading, landscape, and architectural plans received on May 12 25, 2022 (incorporated herein by reference as Exhibit A), except as noted herein. This approval authorizes the development of a 2,688 square foot one story construction warehouse at 3450 West Street. Except as amended, the approval of this project shall be subject to the following conditions:*

- A. *Prior to issuance of a grading and/or public improvement permit, and/or grading activities, the applicant shall comply with the following:*
 1. *Per Lemon Grove Municipal Code (LGMC) Section 18.08.070, obtain a grading permit. Grading plans shall be prepared and submitted with the grading permit application in accordance with the City engineering standards and the requirements of the city engineer. All grading plans shall be signed by a registered civil engineer and by the soil engineer.*
 2. *No grading permit shall be issued for grading unless the applicant shall first post a security with the City comprised of a cash deposit or a combination of cash deposit and corporate surety bond of a surety authorized to do business in the state.*
 3. *All grading shall be in conformance with project specific Geotechnical recommendations, and Lemon Grove Municipal Code (LGMC) Chapter 18.08 Excavation and Grading, Article III Design Standards, and the Standards for Public Works Construction (Greenbook).*

4. *All grading permit fees and deposits shall be paid and all actions necessary preceding issuance of the grading permit shall be completed.*
5. *Per Lemon Grove Municipal Code Section 12.10.060, up to one half of the public street ultimate right-of-way abutting the subject property shall be improved with public street improvements for the entire length of the subject property abutting the public street so as to meet the current city adopted standards. This will require the submittal of improvement plans and associated documents to the Engineering Division for review, approval and issuance of an Improvement Permit. Should the existing street improvements meet current standards, be in a condition satisfactory to the City Engineer, the City Engineer may waive this requirement, or portions thereof.*
6. *An Encroachment, Maintenance, and Removal Agreement (EMRA) will be required prior to the Improvement Permit issuance. The EMRA will mandate the responsibility of the property owner to maintain any private improvements, private access walkways, landscape and irrigation within the public right-of-way, and removals as required by the City.*
7. *On the Grading and Public Improvement Plans, separately submit, and obtain current approval from the Helix Water District. A signature/date within a signature block on the final Grading and Public Improvement Plan will be required.*
8. *Obtain current approval from the Heartland Fire & Rescue. A signature/date within a signature block on the final Grading and Public Improvement Plan will be required.*
9. *Prior to the issuance of a permit, a Covenant Not-to-Oppose the formation of a future street improvement district shall be required.*
10. *At the time of Grading and Public Right-of-Way Permit approval, improvements within the project frontage, 8016 Broadway, shall comply with the requirements of Lemon Grove Ordinance 381, regarding pavement cuts, for underground utilities in all new, reconstructed, or resurfaced city roadway within three years following Pavement Treatment Project by the City.*

12. *All existing survey monuments shall be shown on the grading and public improvement plans. Prior to permit issuance, the Applicant, or Permittee shall retain the service of a professional Land Surveyor, L.S., or Civil Engineer authorized to practice Land Surveying who will be responsible for monument preservation and shall provide a corner record or record of survey to the County Surveyor as required by the Land Surveyors Act, if applicable (Section 8771 of the Business and Professions Code of the State of California).*
 13. *Submit an application to the Lemon Grove Sanitation District for the addition of sewer discharge to the public sewer system.*
 14. *Sewer system shall be designed, designated and maintained as private, not public. A sewer maintenance agreement shall be submitted for the future repair and rehabilitation of the proposed private sewer connection. The City will provide the template for the agreement.*
 15. *On-site drainage system shall be designated and maintained as private. A Storm Water Facilities Maintenance Agreement (SWFMA) shall be submitted for the future repair, rehabilitation of the proposed private drainage and storm water treatment facilities. The City will provide the template for the agreement.*
 16. *Submit an application to be included into the Lemon Grove Lighting District. The property owner will be assessed annually.*
 17. *A building permit will be required for retaining walls of greater than 3.0'*
 18. *Should construction of site perimeter walls require grading and/or construction within a neighboring property, a private temporary construction easement, and/or letter of permission from affected neighboring property owner(s) shall be required prior to permit issuance.*
- B. Prior to the issuance of the building permit for the construction of the facility authorized by this Planned Development Permit the applicant shall comply with the following:*
1. *The telescoping gate fronting on West Street shall encroach no more than one foot into the public right of way dedication.*
 2. *Add 469 square feet of landscaped area to comply with the landscaping requirement of 15% of the lot area to be landscaped.*
 3. *Add 5 street trees to the West Street frontage.*

4. *Provide a Certification letter signed by the Civil engineer reporting that the site is graded in conformance with the approved grading plan, as modified or amended by any construction changes approved by the city engineer, and which specifically states the following items were performed under his or her supervision, and are shown correctly on the as-graded drawings:*
 - i. *Staking of line and grade for all engineered drainage devices and retaining walls (rough and final grading);*
 - ii. *Staking of property corners for proper building and slope location (rough grading);*
 - iii. *Location of permanent walls or structure on property corners or property lines;*
 - iv. *Location and slope ratio of all manufactured slopes;*
 - v. *Construction of earthen berms and positive building pad drainage.*
5. *The project plans shall show compliance with the applicable provisions of the California Building Code.*
6. *Submit for the approval of the Community Development Manager a detailed landscape and irrigation plan for the entire project. Provide reference sheets for the grading and landscape erosion control plans (label these sheets "Reference Only"). Said landscape plan shall comply with the requirements of Section 17.24.050(B) of the Municipal Code. The landscape plan shall be in substantial conformance to the approved landscape concept plan. The plans shall show:*
 - i. *Plantings are drought tolerant materials and water conserving irrigation.*
 - ii. *Surface improvements including but not limited to the design and locations of all walls, fences, driveways, walkways, botanical and common names of all plant materials, number, size and location of all plantings; all irrigation lines including valves and back-flow devices; and soil amendments.*
7. *The building plans for the proposed project shall include one copy of the sample exterior building materials and colors to the satisfaction of the Community Development Director.*
8. *Obtain sewer permits and pay capacity fees.*

9. *Soil's Engineer of record shall prepare and submit a final soils engineering report prepared by the soil's engineer, as required per LGMC 18.08.83; Section A.2.*
 10. *All new dry utility distribution facilities within the boundaries of the proposed project shall be placed underground. If not constructed, provide evidence of coordination and/or service requests for all dry utility agencies*
- C. *Prior to the obtaining occupancy and/or final inspection for the facility authorized by this Planned Development Permit the applicant shall comply with the following:*
1. *Request final inspection approval from appropriate City Departments.*
 2. *All physical elements of the project, including public street improvements, and all other improvements shown on the approved Grading, improvements, Landscape and Building related plans shall be located substantially where they are shown and shall be constructed in accordance with the approved City Codes and adopted Standards.*
 3. *All light fixtures shall be designed, shielded and adjusted to reflect light downward, away from any road or street, and away from any adjoining premises.*
- D. *Upon certification by the Community Development Manager for occupancy or establishment of use allowed by the Planned Development Permit of this project, the following shall apply:*
1. *All landscaping shall be well maintained and adequately watered at all times. The landscaping located on the subject property shall be maintained in a healthy and growing condition at all times. All on-site & off-site landscaped areas shall be planted and irrigated by a permanent irrigation system.*
 2. *The project shall maintain water quality requirements as outlined in the Water Quality Documents.*
 3. *The project shall comply with all applicable provisions of the California Building Code.*
 4. *All screening fences, walls and landscaping on the subject property shall be maintained in good condition at all times.*
 5. *All light fixtures shall be designed, shielded and adjusted to reflect light downward, away from any road or street, and away from any adjoining premises.*

6. *All graffiti shall be removed or painted over with a paint that closely matches the color of the exterior of the building within 48 hours of the discovery of the graffiti.*
 7. *All dumpsters, recycling and refuse containers shall be maintained at all times.*
 8. *All structures on the subject property shall comply with all of the appropriate requirements of the Uniform Building Code, Mechanical Code, National Electric Code and Fire Code to the satisfaction of the City of Lemon Grove Building Official and Fire Chief.*
 9. *All aspects of the project shown on the approved plans dated July 25, 2019 shall be maintained in substantially the same condition as indicated and shall be constructed in accordance with all appropriate City of Lemon Grove Codes and Ordinances.*
 10. *The terms and conditions of this Planned Development Permit shall be binding upon the permittee and all persons, firms, and corporations having an interest in the property subject to this Planned Development Permit and the heirs, executors, administrators, successors, and assigns of each of them, including Municipal Corporation, public agencies, and districts.*
- E. This Planned Development Permit expires two years from the effective date (or such longer period as may be approved by the Planning Commission or the City Council of the City of Lemon Grove prior to said expiration date) unless all requirements of this Planned Development Permit have been met prior to said expiration date.*

PASSED AND ADOPTED on June 27, 2022, the Planning Commission of the City of Lemon Grove, California, adopted Resolution No. 2022-_____, passed by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Robert "Bob" Bailey, Chair

Attest:

Audrey Malone
Planning Commission Clerk

Approved as to Form:

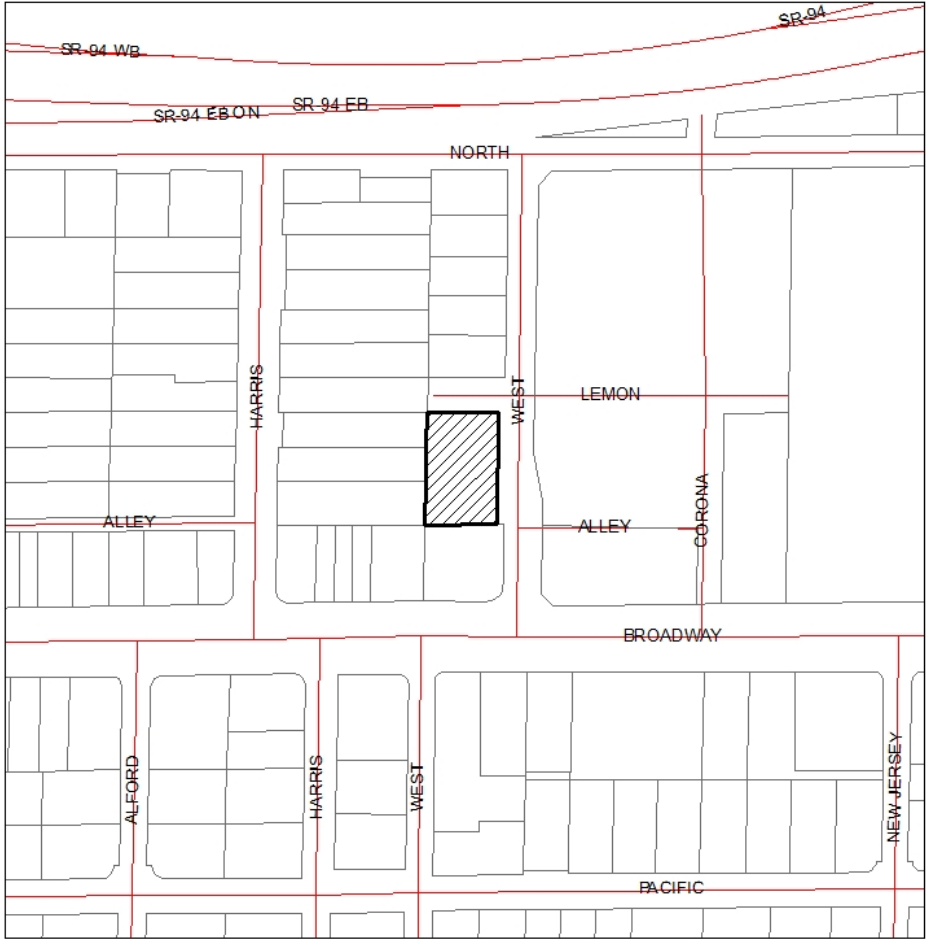
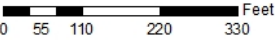
Kristen Steinke
Planning Commission Attorney

PDP-210-0001



Legend

-  3450 West St.
-  LG Parcels
-  Lemon Grove Boundary
-  Roads



Attachment C – Project Plans

A. GENERAL CONDITIONS

- The Contractor shall provide all items, articles, materials, operations or methods listed, mentioned or scheduled on the Drawings and/or herein, including all labor, materials, equipment and incidentals necessary and required for their completion.
- The Contractor shall be solely responsible for all construction means, methods, techniques, sequences, procedures and for coordinating all portions of the work specified by the plans and specifications. Notify Designer and/or Owner of any errors, omissions, and necessary changes to the plans and specifications prior to submitting bid.
- If the Contractor performs any work knowing it to be contrary to such laws, ordinances, rules and regulations, and without such notice to the Designer and/or Owner, Contractor shall assume all responsibility therefor and shall head all costs attributable thereto. Contractor to notify Designer and/or Owner of any variances in the Contract Documents.
- The Contractor warrants to the Owner and Designer that all materials and equipment furnished under this Contract will be new (unless otherwise specified), and that all work will be of good quality, free from faults and defects and in conformance with the Contract Documents. All Contractors shall individually warrant for one (1) year all materials and workmanship except as otherwise specified.
- The Contractor shall review, approve and submit, with reasonable promptness and in such sequence as to cause no delay in the work, or in the work of the Owner or a separate contractor, all shop drawings, product data, and samples required by the Contract Documents.
- No portion of the work requiring submission of a shop drawing, product data, or sample(s) shall be commenced until the submittal has been approved by the Designer and/or Owner.
- The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by his operations. At the completion of the work, he shall remove all his waste materials and rubbish from and about the Project as well as his tools, construction equipment, machinery and surplus materials.
- The Contractor shall be responsible for all cutting, fitting or patching that may be required to complete the work or to make its several parts fit together properly.
- This Project shall comply with the 2019 edition the California Building Code (Title 24), which adopts the 2019 CBC, 2019 UMC, 2019 UPC and the 2019 IBC.

- B. INSULATION**
- Open exterior joints around window and door frames, between walls and foundations, between walls and roof, between wall panels, at penetrations of utilities through the envelope, shall be sealed, caulked, or weather stripped to limit air leakage and sound transmission.

- C. GLAZING**
- Section 2406.4, for all fixed or operable glass panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60" above the walking surface.
- Provide safety glazing material in accordance with the CBC 2019..
 - The opening in any portion of a rated interior corridor shall be protected by fixed glazing listed and labeled for a fire protection rating of at least 3/4 hour. C.B.C. Sec 713.9

- D. FIRE PROTECTION**
- Penetrations of fire resistive walls, floor-ceilings and roof-ceilings shall be protected as required in CBC Sections 714.4.1 through 713.4.3.
 - Exit doorways shall not be less than 36" wide and 6'-8" in height.
 - Maintain 44" minimum aisles to required exits.
 - Doors opening into required one (1) hour fire resistive corridors shall be protected with a smoke or draft stop fire assembly having 20 minute rating.
 - Provide two separate circuits for exit signs conforming to CBC and CEC
 - Provide two separate sources of power for exit signs conforming to code sections as follows: CBC Sec. 1006.3
 - Where indicated on plans, exit lighting and signs are to have minimum 6" letters on contrasting background. C.B.C Section 1006
 - The means of egress, including the exit discharge, shall be illuminated to a level of not less than one foot-candle at the walking surface at all times the building space served by the means of egress is occupied. UBC 1006.2.1; 1006.2
 - Installation of fire alarm systems shall be in accordance with CFC 2019
 - Complete plans and specifications for fire alarm systems: fire-extinguishing systems, including automatic sprinklers and wet and dry standpipes; halon systems and other special types of automatic fire-extinguishing systems; basement pipe inlets; and other fire-protection systems and appurtenances thereto shall be submitted to fire and life safety for review and approval prior to installation. (CFC 2019) 901.2
 - The installation of Automatic Fire Sprinkler Systems shall be in accordance with CBC 93.3
 - Extend existing automatic sprinklers as required by the Locations and classifications of extinguishers shall be accordance with CFC 906 and California Code of Regulations(CCR), Title 19, Plumbing division of Building and Safety.
 - During construction, at least one extinguisher shall be provided at each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where special hazards are present
 - All fire alarm systems shall be installed in compliance with CFC 2019
 - Wall and ceiling materials shall not exceed the flame spread classifications in IBC Table 803.9
 - Interior finish shall comply with CBC AND CFC 2019
 - Decorative materials shall be maintained in a flame-retardant condition. (CFC, CBC 2019)
 - Building occupant shall secure permits required by the Fire Department from the Fire Prevention Bureau prior to
 - Fire Dampers or doors shall be provided where air ducts penetrate fire rated walls or ceilings. All duct openings are limited in area to 100 sq. in. in 100 sq. ft. of ceiling. Access opening one (1) hour rated assembly to be approved by Building Department
 - Fire dampers assemblies, including sleeves and installation procedures, shall be approved by the building inspector prior to installation.

GENERAL NOTES

- Provide draft stops for double or staggered studs and concealed spaces.
- Draft stop suspended ceiling in wood frame floor construction every 1,000 s.f. (CFC, CBC 2013) In attics of combustible construction, every 3,000 s.f. (CFC, CBC 2013)
- One approved audible devise must be connected to every automatic sprinkler system in an approved location on the exterior of the structure. CBC 903.4.2
- Wall, floor and ceiling finishes shall not exceed the interior finish classifications in CBC Table 803.3 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshall with appropriate documentation provided by the City of San Diego.
- Wall finishes shall conform to Division 42 of the Building Codes: Smoke density - 450 Flame Spread III, 200 (if using vinyl or wood paneling)
- All valves controlling the water supply for automatic sprinkler systems and water-flow switches on all sprinkler systems shall be electrically monitored where the number of sprinklers is 20 or more. (CBC sec. 903.4.
- Address identification shall be provided for all new and existing buildings in a position as to be plainly visible and legible from the street or road fronting the property. Where access is by a private road and the building address cannot be viewed from the public way, an approved means shall be used to identify the structure. Premises identification shall conform to Section 96.0209 of the SD Municipal Code and CBC 501.2.
- The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in any egress paths.
- Open flames, fires and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308.
- Exits, exit signs, fire alarm panels, hose cabinets, fire extinguisher locations, and standpipe connection shall not be concealed with curtains, mirrors or other decorative material.
- Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved means such as located in the or II A structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall not be of non-or-limited-combustible materials or similarly protected or separated.
- Buildings undergoing construction, alterations or demolition shall conform to CFC Chapter 14. Welding, cutting and other hot work shall be in conformance with CFC Chapter 26.
- Key boxes shall be provided for all high rise buildings, pool enclosures, gates in the path of a firefighter travel to structures, secured parking levels, doors giving access to control panels and/or annunciators, and any other structures or areas where access is restricted.
- In buildings that require standpipes, standpipes shall be provided during construction when the height lowest level of fire connection shall be no more than 100 feet from available fire department vehicle access road ways.
- It is understood that plans for the project have, at the time been reviewed for compliance with exception of the deferred items listed.
- I/We understand that I/We will not be authorized any inspection of deferred items proposed prior to submittal and approval of plans and/or calculations for these deferred items.

E. RAMPS

- The slope of a ramp shall not exceed 1" in 12".
- The top landings on a ramp must be at least 60" in depth
- If a door swings onto a top landing, the landing depth shall not be less than 42" plus the width of the door.

F. ACCESSIBLE SANITARY FACILITIES

- All passageways leading to sanitary facilities shall have a clear unobstructed opening width of minimum 32".
 - A level and clear area for a minimum of 60" in the direction of the door swing as measured at right angles to the plane of the door in its closed position, and 44" where the door swings away from the level and clear area.
 - Doorways leading to sanitary facilities will have symbols on the doorways identifying men's and women's facilities. (Men's - an equilateral triangle, 1/4 " thick with edges 12" long and a vertex pointing upward. Women's - a circle, 1/4 " thick and 12" in diameter). Existing raised letter identifying men's and women's facilities may be considered equivalent.
- Multiple accommodation toilet facilities shall have:
 - Clear space measures from the floor to 27" above the floor, within the sanitary facility room, of sufficient size to inscribe a circle with a diameter not less than 60", or a clear space 56" by 63" in size. Doors other than the door to the handicapped toilet compartment in any position may encroach into this space by not more than 12"
 - A toilet located in a compartment shall provide a 28" wide clear space from a fixture or a 32" wide clear space from a wall at one side of the toilet and a 48" long clear space in front of the toilet if the compartment has an end opening door (facing the toilet). A 60" minimum length clear space shall be provided in a compartment with the door located at the side. Grab bars shall not project more than 3" into the clear spaces as specified above.
 - A toilet compartment shall be equipped with a door that has an automatic closing device, and shall have a clear unobstructed opening width of 32" when located at the end and 34" when located at the side with a door positioned at an angle of 90 degrees from its closed position. Except for door opening widths and door swings, a clear unobstructed access not less than 44" shall be provided to toilet compartments designed for use by the handicapped and the space immediately in front of a toilet compartment shall not be less than 48" as measured at right angles to compartment door in its closed position.
- Grab bars located on each side, or one side and the back of the toilet stall shall be securely attached 33" above and parallel to the floor. Grab bars at the side shall be at least 42" long with the front end positioned 24" in front of the stool and grab bars at the back shall be not less than 36" long.

The diameter or width of the gripping surfaces of a grab bar shall be 1-1/2" or the shape shall provide an equivalent gripping surface. If the grab bars are mounted adjacent to a wall, the space between the wall and the grab bar shall be 1-1/2".

- A clear space 30" by 48" shall be provided in front of a lavatory to allow a forward approach. Such clear floor space shall adjoin or overlap an accessible route and shall extend into knee and toe space underneath the lavatory.
- Where urinals are provided, at least one shall have a clear floor space of 30" by 48" in front of the urinal to allow forward approach.

- The height of accessible toilets shall be a minimum of 17" and a maximum of 19" measured to the top of the toilet seat. Flush controls shall be operable by an oscillating handle with a maximum operating force of 3 lbs. or by a remote low voltage button. The handle or button shall be located so they are operable without requiring excessive body movement.
- Where urinals are provided, at least one elongated rim at a maximum of 17" above the floor is required.
- Flush controls shall be hand operated and shall be mounted no more than 44" above the floor.
- Lavatories shall be mounted with a clearance of at least 29" from the floor to the bottom of the apron with knee clearance under the front lip extending a minimum of 30" in width with 8" minimum depth at the top. Toe clearance shall be a minimum of 17" deep from the front of the lavatory.
- Hot water and drain pipes under lavatories shall be insulated or otherwise covered. There shall be no sharp or abrasive surfaces under lavatories.
- Faucet controls and operating mechanisms shall be operable with one hand and shall not require tight grasping, pinching or twisting of the wrist. The force required to activate controls shall be no greater than 5 lbs. Lever operated, push type and electronically controlled are examples of acceptable designs. Self closing valves are allowed if the faucet remains open for at least 10 seconds.

- Doorways leading to sanitary facilities shall be identified per Sec. 115b.5 as follows:
 - Signage shall be located on the wall adjacent to the latch outside of the doorways leading to the sanitary facilities, per Sec 1117b.5.9, Title 24.

G. DRINKING FOUNTAINS

- Where water fountains are provided, they shall be located completely within alcoves, or otherwise positioned so as not to encroach into pedestrian ways. Water fountains shall conform to the following requirements:
 - The alcove in which the water fountain is located shall be not less than 32" in width and 18" in depth.
 - The surface of the path of travel at the water fountain shall be textured so that it is clearly identifiable by a blind person using a cane. The minimum textured area shall extend from wall supporting the water fountain to 1 foot beyond the front edge of the fountain and shall extend 12" beyond each side of the water fountain or
 - Wing walls shall be provided on each side of the water fountain. The wing walls shall project out from the supporting wall at least as far as the fountain to within 6" of the surface of the of the path of travel. Also, there shall be a minimum of 32" clear between the wing walls.
- The drinking fountain shall be a minimum of 18" in depth and there shall be clear and unobstructed spaces under the fountain of not less than 27" in height and 18" in depth, the depth measurement being taken from the front edge of the fountain. A side approach drinking fountain is not acceptable.
- The bubbler shall be operated by a control which is easily operated by a handicapped person such as a hand operated lever type control located within 6" of the front of the fountain, a push bar control along the front of the fountain, etc. The bubbler outlet orifice shall be located within 6" of the front of the fountain and shall be within 36" of the floor. The water stream from the bubbler shall be substantially parallel to the front edge of the drinking fountain.

H. POWER AND DATA

- All work to be performed by Electrical Contractors shall be in accordance with all applicable local building codes and ordinances and shall be performed by licensed electricians.
- Electrical Contractors shall be responsible for adequate power and wiring and for all distribution facilities to the demised premises, including but not limited to panels, switches, breakers, etc. to meet all specified requirements.
- The Electrical Contractor shall perform all shopping, cutting and drilling of partitions and floors as necessary for the proper installation of all electrical work.
- All high and low voltage wiring to be installed in properly sized, rigid conduit as required by state and local codes.
- Outlets to be installed at locations shown by dimensions on telephone and electrical plan.
- Outlets indicated as back to back to be installed staggered (unless otherwise noted).
- All high and low voltage wiring to run concealed in walls, columns, floor and above hung ceiling except as noted.
- Electrical Contractor to refer to equipment on data/power plan when applicable for description of equipment which will receive separate circuiting of special outlets and field survey of tenant's existing equipment for working and electrical requirements for said equipment.
- Electrical Contractor to coordinate all work with other trades, including HVAC ceiling installation and mechanical equipment. HVAC Contractor will direct this contractor as to adequate power and cable requirements of various HVAC equipment. All wiring of equipment and controls is to be performed by Electrical Contractor.
- Directional exit signs to be installed to satisfy requirements of local building and fire codes. Illuminated exit signs to be on 24-hour circuit or approved equal.
- All telephone work is to be coordinated with telephone company representative.
- All telephone and electrical telephone outlets for telephone equipment, conduit sizes and locations to be verified and approved by tenant's telephone service provider.

PROJECT NAME:

CONTRACTOR'S STORAGE WAREHOUSE

PROJECT TEAM DRAWING INDEX

PROJECT DESIGNER
 WILSON/ DUTY ASSOCIATES INC
 1410 NEPTUNE AVE,
 ENCINITAS, CA 92024
 CONTACT: DAN DUTY
 619 846-6979

CIVIL ENGINEER
 FITZMAURICE CONSULTING
 3529 RIVIERA DRIVE
 SAN DIEGO, CA 92109
 CONTACT: THOMAS FITZMAURICE
 858 752-2573

SOILS ENGINEER
 ALPINE ENGINEERING
 PO BOX 2155
 ALPINE, CA 91903
 CONTACT: WALLY BERON
 619 445-2024

LANDSCAPE ARCHITECT
 12044 ROYAL ROAD
 EL CAJON, CA 92021
 CONTACT: CAROL CORNELIUS
 619 251-6372

STRUCTURAL ENGINEER
 ZJS ENGINEERING SERVICES
 14189 FOOTHILL BLVD.
 FONTANA, CA 92335
 CONTACT: JANS S BOROS
 909 823-4150

ELECTRICAL ENGINEER
 SALAS O'BRIEN
 3220 EXECUTIVE RIDGE ROAD SUITE 210
 VISTA, CA 92081
 CONTACT: GRACE ZEELIG
 760 316-5679

MECHANICAL ENGINEER
 DIRECT ENGINEERING SOLUTIONS INC.
 10755 SCRIPPS POWAY PARKWAY #F149
 POWAY, CA 92131
 CONTACT: MEHDI NEGAHBAN
 858 800-5024

ARCHITECTURAL

- A-0.0 TITLE SHEET
- A-0.1 NOTES
- A-0.2 SITE PLAN
- A-0.3 PHOTO SURVEY
- A-1.0 FLOOR PLAN
- A-3.1 ELEVATIONS
- A-3.2 ELEVATIONS

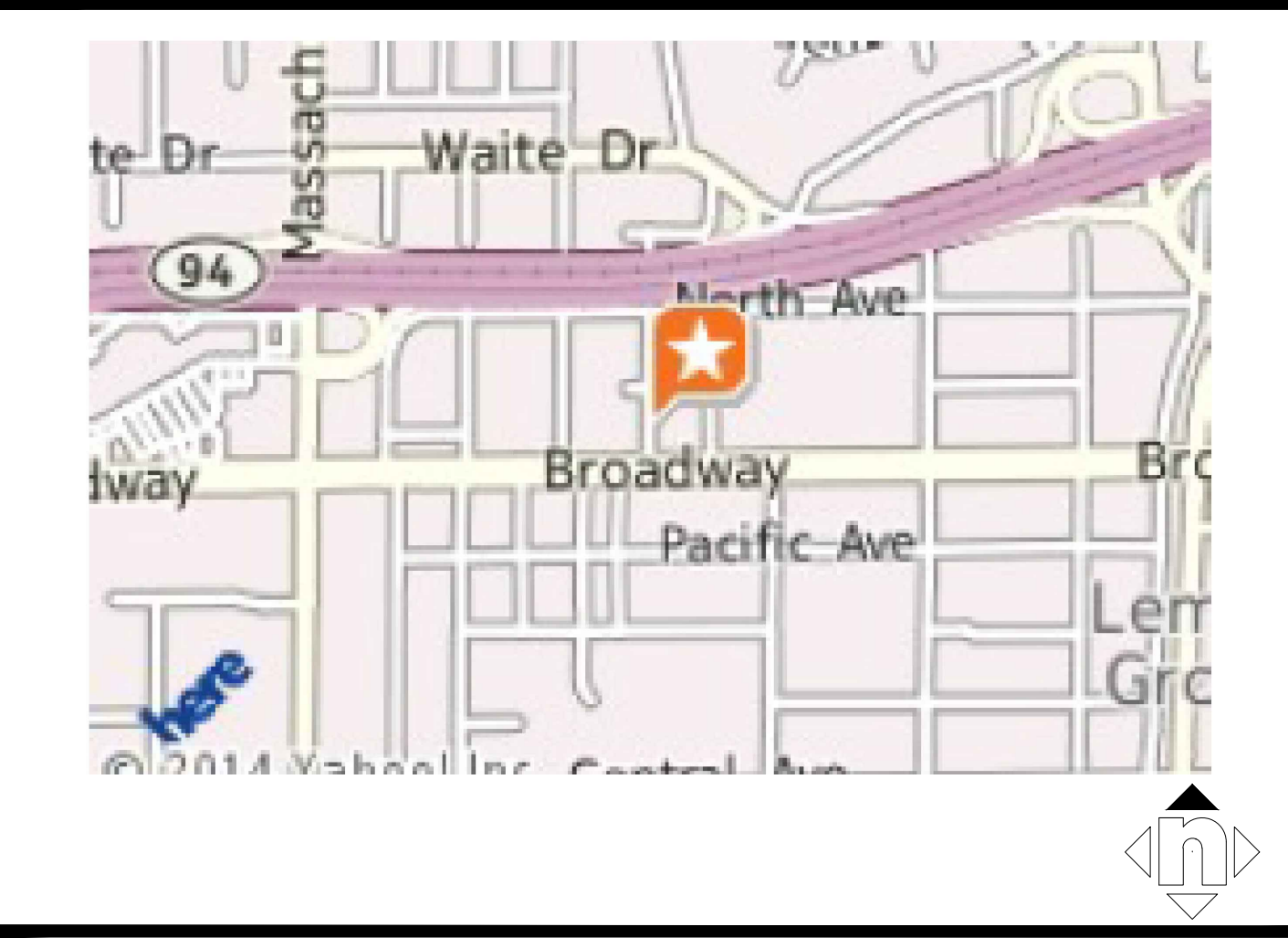
CIVIL

- C-1 PRE GRADE PLAN

LANDSCAPE

- L-1 LANDSCAPE CONCEPT PLAN

VICINITY MAP



PROJECT DATA

PROJECT ADDRESS: 3450 WEST STREET
 CONSTRUCTION TYPE: TYPE V-B SPRINKLERED 1 STORY
 OCCUPANCY: GROUP B1

PROJECT DESCRIPTION: PROJECT SITE IS DESIGNATED AS "GC"(GENERAL COMMERCIAL) PROPOSED TO "HC"(HEAVY COMMERCIAL) THE PROJECT CONSISTS OF A CONSTRUCTION STORAGE SITE WHICH IS PROPOSING A SINGLE STORY CONTRACTOR EQUIPMENT STORAGE WAREHOUSE BUILDING. THE BUILDING HAS 190 SF OF GENERAL OFFICE SPACE 5 TOTAL PARKING SPACES ARE PROVIDED, ONE BEING VAN ACCESSIBLE.

BUILDING OWNER: CETHRON INC. (KOP ADARTO) 6202 FEDERAL BLVD. SAN DIEGO, CA 92114 PHONE 619 295-1100

SQUARE FOOTAGE: 2,688 SF.
 A.P.N. 480-021-72

LEGAL DISCRPTION: LOTS 1,2,3,4,5 & 6 IN BLOCK 2 OF MAP 1609, IN SAN DIEGO COUNTY, STATE OF CALIFORNIA

APPLICABLE CODES

2019 CALIFORNIA GREEN BUILDING STANDARDS
 THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE, WHICH ADOPTED THE 2019 IBC, 2019 UPC, 2019 UMC AND THE 2019 NEC AND THE TITLE 24 ENERGY AND DISABLED ACCESS.

PROJECT DESCRIPTION/SCOPE

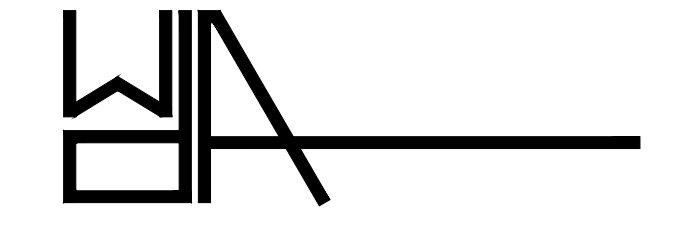
SITE DEVELOPMENT IN PREPARATION FOR THE CONSTRUCTION OF A METAL BUILDING SHELL AND INTERIOR IMPROVEMENTS INCLUDING ELECTRICAL, LIGHTING, MECHANICAL AND PLUMBING.

HAZARDOUS MATERIALS

No hazardous materials will be stored and/ or used within the building that exceed allowable limits.

DEFERRED ITEMS

RE-SUBMITTAL	10/11/2021
SUBMITTAL	2/24/2021



WILSON/DUTY ASSOCIATES
 1410 NEPTUNE AVE.
 ENCINITAS, CA 92024

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Drawn By	Approved
Scale	Date 2/31/2021

CONTRACTOR'S STORAGE WAREHOUSE

2450 WEST STREET
 LEMON GROVE, CA 92122

TITLE SHEET

GENERAL NOTES CONTINUED

GREEN BUILDING STANDARDS

- 13. Ceiling Contractor shall coordinate with Electrical Contractor to verify that adequate depth is provided above ceiling to accommodate recessed lighting fixtures. Before proceeding with work, Designer shall be notified of any obstructions that would interfere with lighting layout.
14. For fixture locations and specifications refer to reflected ceiling plan.
15. All dimensions of lighting fixtures are given from centerline to centerline.
16. All down fixtures shall be:
a. Installed in dead center of ceiling tile unless otherwise shown or noted.
b. Circuited to accept 150 watt lamps, event though lesser wattage lamps may be specified, unless otherwise noted.
17. Light fixtures in fire rated corridor ceilings are to be fire proofed per local codes.
18. Where one (1) switch only is indicated on plan, contractor shall provide additional switches as required in accordance with code and best trade practice. Such switches shall be in locations as indicated on plan and grouped in gang plates.
19. Electrical Contractor (Engineer) shall provide night lighting by assigning selected fixtures to a 24 hour (emergency) circuit, or as indicated on plans.

I. HVAC

- 1. General Contractor to provide complete design/build documents for approval by Designer prior to installation of said equipment.
2. HVAC Contractor to verify all recess depths of fixtures against A/C units, ductwork, piping, beams, etc.
3. Where A/C relief openings are required in partitions above ceiling, see Engineer's drawings for location and size.
4. HVAC Contractor to verify all thermostat locations, diffuser and returns against all revised drawings and shall submit thermostat location(s) to Designer for approval prior to installation.
5. All non built-in plumbing fixtures to be supplied and installed by Plumbing Contractor.

J. SUSPENDED CEILING SYSTEMS

- 1. The suspended ceiling system shall comply with UBC Tables 25-A, 16-o and 16-B. General Contractor to provide and install lateral and seismic support for all suspended ceilings and ceiling related elements as required by applicable local codes.
2. Material, design and workmanship shall comply with requirements for a direct hung ceiling of A.S.T.M. C-635.69 and provisions and exceptions specified.
3. All suspension wires shall be minimum 12 gauge galvanized wires. Suspension wires shall not hang more than 1" in 6" out of plumb unless counter sloping wires are provided.
4. Cross runners over 12" long and all main runners not connected to walls must be interconnected near the free end with 16 gauge tie wire or metal. Attach strut securely to prevent spreading.
5. All ceiling wires, unbraced ducts, and/or pipes must be separated by a minimum of 6".
6. All light fixtures shall be attached to the ceiling grid in such a manner so as to resist a horizontal force equal to the weight of the fixture.
7. "Or equal ceiling system" must be approved type, incombustible ceiling subject to building dept. approval.
8. Ceiling tile not to exceed 1.6 lbs/s.f.. Mineral tile with UL label. Flame spread to be 25 or less.
9. Where ceiling loads do not exceed 5 lbs/s.f. and where partitions are not connected to the ceiling system, the following bracing method may be employed:
a. Lateral support may be provided by four (4) wires of minimum 12 gauge, splayed in four (4) directions 90 degrees apart and connected to the main runner within 2" of the crossrunner and to the structure above at an angle not exceeding 45 degrees from the plane of the ceiling. These lateral support points shall be placed 5"-0" O.C. in each direction with the first point within 4" from each wall.
b. Allowance shall be made for lateral movement of the system. Main runners and cross runners may be attached at two adjacent walls with clearance between the wall and the runners maintained at the other two walls.
c. Vertical support shall be provided as required in Chapter 25 with the added requirements that discontinuous ends of cross runners and main runners be vertically supported within 8" of such discontinuities as may occur where the ceiling is interrupted by the wall.

- d. Lighting fixtures and air diffusers shall be supported directly by wires to the structure above.
10. EXCEPTION: (1) Recessed lighting fixture not over 56 lbs in weight, and suspended and pendant hung fixtures not over 20 lbs in weight may be supported and attached directly to the ceiling system runners by a positive attachment such as screws or bolts.
11. EXCEPTION: (2) Air diffusers which weigh not more than 20 lbs and which receive no tributary loading from duct work may be positively attached to and supported by the ceiling runners.
12. The above requirements are intended to be identical to those currently enforced by the City of San Diego. UBC Standard 2519 is also an acceptable bracing method. Other methods may be used providing they are substantiated by design calculations using those specified in Chapter 16.

K. DOORS AND HARDWARE

- 1. All primary entrances to buildings shall be made accessible to the handicapped.
2. Hand activated door opening hardware shall be mounted between 30" and 44" above the floor. Locking and locking arms that are hand activated and which are in a path of travel shall be operable with a single effort by lever type hardware, by panic bars, push-pull activating bars or other hardware designed to provide passage without requiring the ability to grasp the opening hardware. Locked exit doors shall operate as above in egress direction.
3. WIDTH AND HEIGHT: Every required exit doorway shall be of a size as to permit the installation of a door not less than 3' in width and not less than 6'-8" in height. When installed in exit doorways, exit doors be capable of opening at least 90 degrees and shall be so mounted that the clear width of the exitway is not less than 32".
4. Maximum effort to operate doors shall not exceed 8.5 pounds for exterior doors and five pounds for interior doors, such pull or push effort being applied at right angles to hinged doors and at the center plane of sliding or folding doors. Compensating devices or automatic door operators may be utilized to meet the above standards. When fire doors are required, the maximum effort to operate the door may be increased not to exceed 15 pounds.
5. CONSTRUCTION: The bottom 10-inches of all doors except automatic and sliding shall have a smooth uninterrupted surface to allow the door to be opened by a wheel chair footrest without creating a trap or hazardous condition. Where narrow frame doors are used, a 10 inch high smooth panel shall be installed on the push side of the door, which will allow the door to be opened by a wheelchair footrest without creating a trap or hazardous condition.
6. For hinged doors, the opening width shall be measured with the door positioned at an angle of 90 degrees from its closed position. At least one of a pair of doors shall meet this opening width requirement. Revolving doors shall not be used as a required entrance for the physically handicapped.
7. Thresholds shall not exceed 1/2-inch in height.
8. There shall be a level clear area on each side of an exit or passage door. Provide sixty-inch clear in the direction of the door swing and 44-inches on the side opposite to door swing direction. Measurements are to be at right angles to the closed doors.
9. The width of the required level area on the side into which the door swings shall extend 24-inches past the strike edge for exterior doors and 18-inches past the strike edge for interior doors.
10. The space between two consecutive door openings in a vestibule serving other than a required exit stairway shall provide a minimum of 48-inches of clear space from any door opening into the vestibule when the door is open 90 degrees. Doors into a vestibule shall swing in the same direction or they both shall swing away from the vestibule.
11. All egress doors to be operable from inside without use of a key or a key or any special knowledge or effort.
12. All required exit doorways shall have a minimum 32-inch clear opening with the door at 90 degrees to the closed position.
13. Regardless of occupant load, a floor or landing not more than 1/2" below the threshold is required on each side of an egress door. Section 1008.1.7.

- 19. Electrical Contractor (Engineer) shall provide night lighting by assigning selected fixtures to a 24 hour (emergency) circuit, or as indicated on plans.
I. HVAC
1. General Contractor to provide complete design/build documents for approval by Designer prior to installation of said equipment.
2. HVAC Contractor to verify all recess depths of fixtures against A/C units, ductwork, piping, beams, etc.
3. Where A/C relief openings are required in partitions above ceiling, see Engineer's drawings for location and size.
4. HVAC Contractor to verify all thermostat locations, diffuser and returns against all revised drawings and shall submit thermostat location(s) to Designer for approval prior to installation.
5. All non built-in plumbing fixtures to be supplied and installed by Plumbing Contractor.
J. SUSPENDED CEILING SYSTEMS
1. The suspended ceiling system shall comply with UBC Tables 25-A, 16-o and 16-B. General Contractor to provide and install lateral and seismic support for all suspended ceilings and ceiling related elements as required by applicable local codes.
2. Material, design and workmanship shall comply with requirements for a direct hung ceiling of A.S.T.M. C-635.69 and provisions and exceptions specified.
3. All suspension wires shall be minimum 12 gauge galvanized wires. Suspension wires shall not hang more than 1" in 6" out of plumb unless counter sloping wires are provided.
4. Cross runners over 12" long and all main runners not connected to walls must be interconnected near the free end with 16 gauge tie wire or metal. Attach strut securely to prevent spreading.
5. All ceiling wires, unbraced ducts, and/or pipes must be separated by a minimum of 6".
6. All light fixtures shall be attached to the ceiling grid in such a manner so as to resist a horizontal force equal to the weight of the fixture.
7. "Or equal ceiling system" must be approved type, incombustible ceiling subject to building dept. approval.
8. Ceiling tile not to exceed 1.6 lbs/s.f.. Mineral tile with UL label. Flame spread to be 25 or less.
9. Where ceiling loads do not exceed 5 lbs/s.f. and where partitions are not connected to the ceiling system, the following bracing method may be employed:
a. Lateral support may be provided by four (4) wires of minimum 12 gauge, splayed in four (4) directions 90 degrees apart and connected to the main runner within 2" of the crossrunner and to the structure above at an angle not exceeding 45 degrees from the plane of the ceiling. These lateral support points shall be placed 5"-0" O.C. in each direction with the first point within 4" from each wall.
b. Allowance shall be made for lateral movement of the system. Main runners and cross runners may be attached at two adjacent walls with clearance between the wall and the runners maintained at the other two walls.
c. Vertical support shall be provided as required in Chapter 25 with the added requirements that discontinuous ends of cross runners and main runners be vertically supported within 8" of such discontinuities as may occur where the ceiling is interrupted by the wall.
d. Lighting fixtures and air diffusers shall be supported directly by wires to the structure above.
10. EXCEPTION: (1) Recessed lighting fixture not over 56 lbs in weight, and suspended and pendant hung fixtures not over 20 lbs in weight may be supported and attached directly to the ceiling system runners by a positive attachment such as screws or bolts.
11. EXCEPTION: (2) Air diffusers which weigh not more than 20 lbs and which receive no tributary loading from duct work may be positively attached to and supported by the ceiling runners.
12. The above requirements are intended to be identical to those currently enforced by the City of San Diego. UBC Standard 2519 is also an acceptable bracing method. Other methods may be used providing they are substantiated by design calculations using those specified in Chapter 16.

L. FINISHES

- 1. Provide gypsum wallboard, installed per manufacturer's specifications. Top of seat and stool oil wallboard. Provide M/R gypsum wallboard in toilet and other wet areas.
2. Gypsum wallboard to be US Gypsum "Sheetrock" or equal. One hour rated walls or ceilings to be 5/8" "Firecode" gypsum panels. All other walls and ceilings to be 1/2" or 5/8" "Sheetrock" gypsum panels M/R water resistant gypsum panels.
3. Nails to be specifically recommended by gypsum wallboard mfr.
4. Metal trim to be #200A or #200B or equal.
5. Finish to be US Gypsum "Smooth" finish, or as shown on finish schedule.
6. All changes in finish flooring materials occurring at doorways shall be at the centerline of the doorway unless otherwise noted.
7. Floor covering in closets or storage areas which are ancillary to a room shall match the floor covering in that room unless otherwise noted.
8. Designer is not responsible for any finishes other than those specified on our finish plan(s).
9. Flat areas where floor is not level or true. Prepare to receive new floor covering.
10. The General Contractor shall coordinate the efforts of all floor covering contractors in order to meet specified completion date(s).
11. Carpet to be installed by direct glue method unless otherwise noted. Power stretch all carpets laid over pad.
12. Where carpeting meets tile, provide "Mercer" vinyl commercial carpet reducer or approved equal unless otherwise noted.
13. Wall finishes shall comply to local building code requirements as required for all fire rated areas.
14. Wall surfaces shall be prepared for paint and all paint applied in accordance with manufacturer's specification for particular surfaces. Provide minimum two (2) coats over primer as required. Repaint or touch up areas where necessary before completion.
15. Wall surfaces receiving vinyl wall covering shall receive one (1) coat of oil based primer.
16. Seams must be butted straight. All materials must be left clean without unglued edges or air bubbles. Cut edges must be concealed by hardware, electrical plates, etc.
17. Wall Covering Contractor to coordinate all wall covering application in or on cabinet work with cabinet contractor.
18. Designer is not responsible for any finish materials used but not specified by our contract documents. All materials used are to be the best of their respective types.

material transitions shall be accomplished smoothly, to the satisfaction of Designer.

ENERGY CONSERVATION NOTES

- 1. Insulation material shall meet the California Quality Standard per C.M.C.
2. All piping and ductwork shall be insulated consistent with the requirements of the C.M.C.
3. All HVAC systems shall meet the control requirements per C.M.C.
4. All HVAC equipment and appliances shall meet the requirements per C.M.C.
5. All doors and windows shall meet minimum infiltration requirements per C.M.C.

GENERAL ACCESS REQUIREMENTS

The following features and facilities shall comply with all applicable provisions of chapter 11B.
a. The proposed tenant space and/or area or remodel
b. A path of travel from a public way or accessible parking spaces whichever is the primary method of arrival.
c. A primary entrance into the building, a path of travel from the accessible building entrance to the area(s) of remodel (including an elevator), and a path of travel to sanitary facilities, public telephones and drinking fountains serving the area of remodel.
d. sanitary facilities, drinking fountains and public telephones (when provided) serving the area of remodel or construction.

SANITARY FACILITY FIXTURE & ACCESSIBILITY NOTES

- 1. WATER CLOSETS IN ACCESSIBLE RESTROOM SHALL MEET THE FOLLOWING REQUIREMENTS:
A. THE CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.
B. THE CONTROLS FOR FLUSH VALVES SHALL BE LOCATED ON THE WIDE SIDE OF THE WATER CLOSET AREA AND SHALL BE NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LB/ FORCE.
C. TOILET SEATS SHALL NOT SPRING TO RETURN TO A FLIPPED POSITION.
2. NEW WATER CLOSETS AND ASSOCIATED FLUSHMETER VALVES, IF ANY, SHALL USE NO MORE THAN 1.6 GALLONS PER FLUSH AND SHALL MEET THE PERFORMANCE STANDARDS OF ANSI A112.19.2 URINALS AND ASSOCIATED FLUSHMETER VALVES, IF ANY, SHALL USE NO MORE THAN 1.0 GALLON PER FLUSH AND SHALL MEET ANSI PERFORMANCE STANDARDS.
3. URINALS SHALL MEET THE FOLLOWING REQUIREMENT:
A. THE FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE GRASPING, PINCHING OR TWISTING OF THE WRIST.
4. LAVATORIES SHALL COMPLY WITH THE FOLLOWING:
A. FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE AN OPERATING FORCE OF MORE THAN 5 LB/ FORCE. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
B. FAUCET CONTROLS SHALL BE MOUNTED 40" MAX ABOVE FLOOR.
C. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACE UNDER THE LAVATORIES.
5. SELF-CLOSING VALVES ARE REQUIRED AT ALL LAVATORY FAUCETS. THEY SHALL EMIT A MAX OF 2.2 G.P.M.
6. GRAB BARS SHALL COMPLY WITH THE FOLLOWING:
A. LOCATE GRAB BARS ON EACH SIDE OR ONE SIDE AND THE BACK OF THE ACCESSIBLE WATER CLOSET SHALL OR COMPARTMENT.
B. GRAB BARS SHALL NOT PROJECT INTO THE CLEAR FLOOR SPACE MORE THAN 3/4".
C. STRUCTURAL STRENGTH OF GRAB BARS, TUB AND SHOWER SEATS, FASTENERS AND MOUNTING DEVICES SHALL MEET THE FOLLOWING SPECIFICATIONS:
A. THE DIAMETER OR WIDTH OF THE GRAB BAR GRIPPING SURFACE SHALL BE 1 1/4" TO 1 1/2" OR THE SHAPE SHALL PROVIDE EQUIVALENT GRIPPING SURFACE. IF MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND BAR SHALL BE 1 1/2".
B. FASTENERS AND MOUNTING DEVICES SHALL BE CAPABLE OF RESISTING SHEAR FORCES OF A 250 POUND LOAD. SEE TITLE 24 SECTION 5103(A)(3)(C)(I).
C. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF A 250 POUND POINT LOAD PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF A 250 POUND POINT LOAD, SHALL BE LESS THAN THE ALLOWABLE WORKERAW LOAD BETWEEN THE FASTENER AND SUPPORTING STRUCTURE. CONTRACTOR SHALL PROVIDE BLOCKING W/IN WALL TO ADEQUATELY SUPPORT GRAB BARS, SEATS, AND OTHER MOUNTED DEVICES.
D. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
E. BARS ARE SMOOTH WITH A MINIMUM RADIUS OF 1/4". GRAB BARS SHALL BE FREE OF SHARP AND ABRASIVE ELEMENTS.
F. THE MATERIAL OF GRAB BARS AND SEATS SHALL MEET REQUIREMENTS FOR BENDING STRESS AND SHEAR STRESS AS DESCRIBED IN TITLE 24 SECTION 5103(A)(3)(C)(I).
8. WATER CLOSET COMPARTMENT DOOR SHALL BE EQUIPPED WITH AN AUTOMATIC CLOSING DEVICE.
9. THE INSIDE AND OUTSIDE OF THE COMPARTMENT DOOR SHALL BE EQUIPPED WITH A LOOP OR U-SHAPED HANDLE IMMEDIATELY BELOW THE LATCH. THE HANDLE SHALL BE PUP-OVER STYLE, SLIDING, OR OTHER HARDWARE NOT REQUIRING GRASPING OR TWISTING.

K. FIRE SUPPRESSION FIRE ALARMS DEFERRED SUBMITTAL

- 1. COMPLETE PLANS, SPECIFICATION, MATERIAL DATA AND OR CALCULATIONS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MATTER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION FOR CITY OF SAN DIEGO REVIEW AND APPROVAL.
2. THE REGISTERED IRRESPONSIBLE DESIGN PROFESSIONAL SHALL REVIEW THE DEFERRED SUBMITTAL DOCUMENTS AND SUBMIT THEM TO THE BUILDING OFFICIAL, WITH ANNOTATION INDICATING THAT THEY HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE IN THE DESIGN OF THE BUILDING.
3. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTILL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

STORM WATER NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSONS AS INDICATED BELOW:

- 1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION, INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREETS AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLE/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
15. AS NECESSARY, THE RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPs AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
18. PERFORMANCE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING BMPs BASED ON THE FOLLOWING PERFORMANCE STANDARDS:
(a) NON-STORM WATER DISCHARGES FROM THE SITE SHALL NOT OCCUR TO THE MAXIMUM EXTENT PRACTICABLE.
(b) STORM WATER DISCHARGES SHALL BE FREE OF POLLUTANTS INCLUDING SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
(c) EROSION SHALL BE CONTROLLED BY BMPs TO THE MAXIMUM EXTENT PRACTICABLE. IF RILLS AND GULLIES APPEAR THEY SHALL BE REPAIRED AND ADDITIONAL BMPs INSTALLED TO PREVENT A REOCCURRENCE OF EROSION.
(d) INACTIVE AREAS SHALL BE PROTECTED TO PREVENT POLLUTANT DISCHARGES. A SITE OR PORTIONS OF A SITE SHALL BE CONSIDERED INACTIVE WHEN CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD OF 14 OR MORE CONSECUTIVE DAYS.
(e) ACTIVE AND INACTIVE AREAS SHALL BE PROTECTED PRIOR TO RAIN IN ACCORDANCE WITH CHAPTER 5 OF PART 2 OF THE STORM WATER STANDARDS.

- 12. Pollutant control. Where outdoor areas are provided for smoking, such as areas are prohibited within 25' of building entries, windows and outdoor air intakes. Signage shall be posted to inform occupants of the prohibitions. CGC Section 5.5.4.7.
13. Water reduction. The following maximum fixture flow rates from table 5.303.2.3 and Section 5.303.3, as shown below shall apply. Revised general notes, plumbing plans, etc. to match CGC 5.303. For additions or alterations, this only applies to new fixtures.

MAXIMUM FIXTURE FLOW RATES table with columns: FIXTURE TYPE, MAXIMUM FLOW RATE. Rows include Showerheads (2 gmp @ 80psi), Lavatory faucets (0.5 fmp @ 60psi), nonresidential Kitchen faucets (1.8 gmp @ 60psi), Water closets (1.28 gallon/flush), Urinals (0.5 gallon/flush).

- 14. Outdoor water use. Note on the plans that a water budget shall be developed for landscape irrigation use that conforms to the local water efficient landscape ordinance. Where no local ordinance exists, show compliance with the California Department of Water resources Model Water Efficient Landscape Ordinance. See Section 492.5 through 492.9, 492.10 and 492.11 of the State ordinance at http://www.water.ca.gov/wateruseefficiency/docs/WaterOrdSec492.cfm
15. Outdoor water use. Note on the plans that for new water service (or additions/alterations with >1,000 square feet of cumulative landscaped area), separate sub-meters or metering devices shall be installed for outdoor potable water use. Also, irrigation controllers and sensors shall be installed. CGC Section 5.304.2 and 5.304.3.
16. Prior to final inspection the licensed contractor, architect or engineer in responsible charge of the overall construction must provide to the building department official written verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3.

Revision table with columns: No., Description, Date, By. Includes entries for Resubmittal and Submittal.

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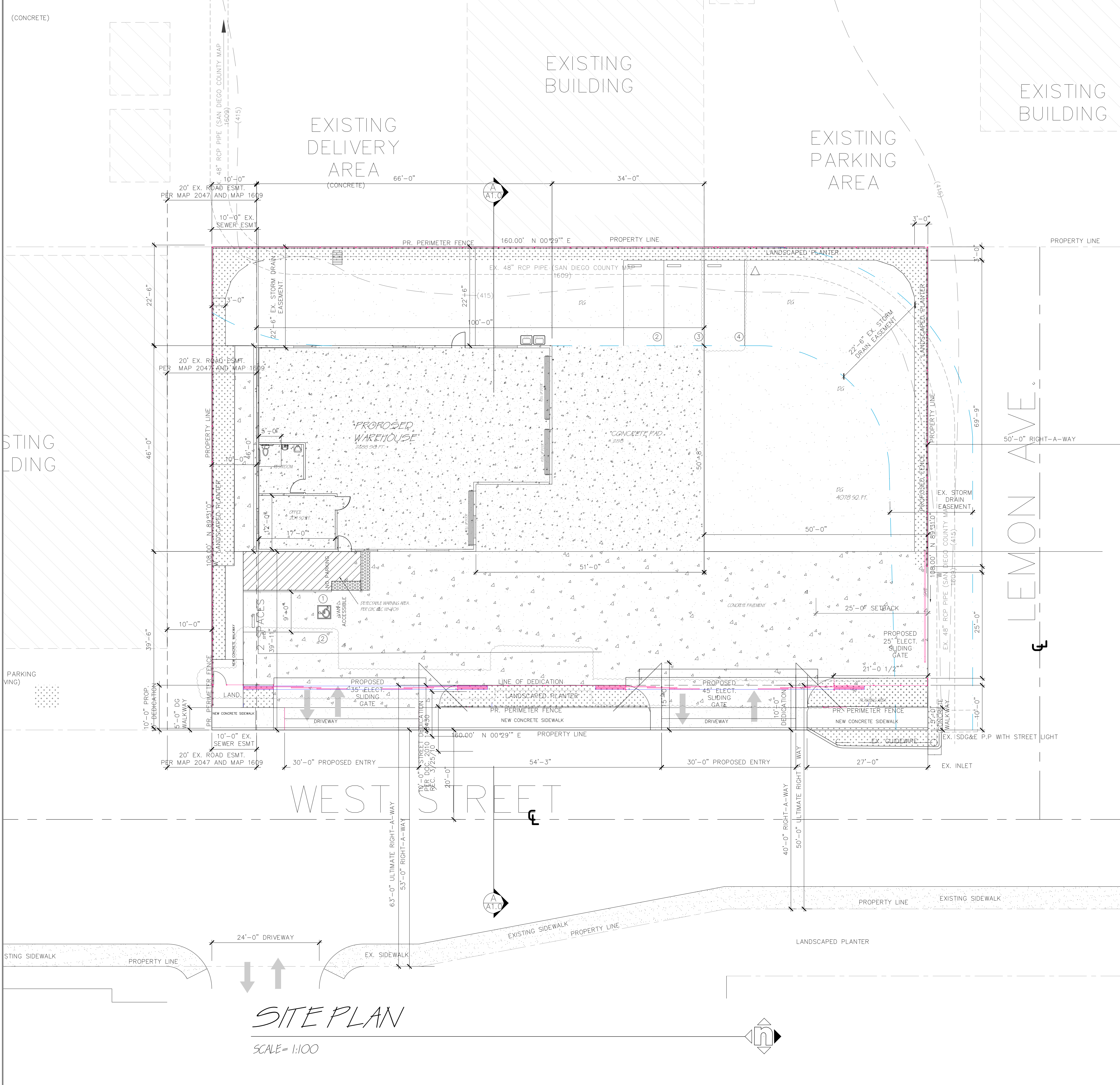
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Scale: [Scale]
Approved Date: 9/21/2021

CONTRACTOR'S STORAGE WAREHOUSE

2450 WEST STREET
LEMON GROVE, CA 92122

NOTES



SITE PLAN
SCALE = 1:100

LEGEND

- PROPOSED CONCRETE AREA
- PROPOSED LANDSCAPE AREAS
SEE LANDSCAPE PLANS FOR DETAILS
- PROPOSED/ EXISTING CONCRETE AREAS (WALKWAY, SIDEWALK, ETC.)
- EXISTING STRUCTURE ADJACENT TO SITE.
- DECOMPOSED GRANITE

PROJECT NOTES

1. OWNER IS REQUESTING THAT A SMALL SECTION OF THE FENCE, GATES ON LEMON AVE. AND A SMALL PORTION OF THE LANDSCAPING BE INSTALLED WITHIN THE DEDICATION AREA WITH AN ENCROACHMENT PERMIT.
2. THERE IS AN EXISTING SEWER EASEMENT THAT EXTENDS ALONG THE SOUTHERLY PROPERTY LINE AND IS SHOWN ON THE SITE PLAN.
3. SMALL SECTION OF LANDSCAPING ALLOWED WITHIN WEST STREET DEDICATION AREA WITH THE CITY APPROVAL OF AN ENCROACHMENT AND REMOVAL AGREEMENT OR PERMIT.
4. TEN (10) FEET OF DEDICATION SHALL BE REQUIRED FOR WEST STREET.
5. ALL EASEMENTS AND PROPERTY LINES FOR THIS PROJECT ARE SHOWN ON THE SITE PLAN.

PROJECT DATA

SITE INFORMATION	
EXISTING (GROSS AREA)	17,424 SF / .40 ACRES
PROPOSED (NET AREA)	10,824 SF / .40 ACRES
ALLOWABLE BUILDING COVERAGE	4,992 SF / 31.5 %
ZONING INFORMATION	
GENERAL PLAN	EXISTING
ZONING	EXISTING
SETBACKS	FRONT: 25 FEET SIDE: 10 FEET ON SIDE STREET REAR: 0
PARKING INFORMATION	
OFF STREET PARKING	PROPOSED
BUILDING INFORMATION	TYPE V
CONSTRUCTION TYPE	2,688 SF
TOTAL BUILDING AREA	30 FEET
BUILDING HEIGHT (30 FEET MAX)	1 STORY
BUILDING STORIES	
LANDSCAPE INFORMATION	
REQUIRED	1,082 (10%)
PROPOSED	2,140 SF
ALL LANDSCAPING TO BE MAINTAINED BY THE PROPERTY OWNER.	
SERVICES AND DISTRICTS	
SCHOOLS	LEMONGROVE ELEMENTARY LEMONGROVE UNION HIGH SCHOOL DISTRICT
SEWER	HELIX WATER DISTRICT
WATER	LEMONGROVE SANITATION DISTRICT
FIRE	

LEGAL DESCRIPTION
LOTS 1, 2, 3, 4, 5 & 6 IN BLOCK 3 OF MAP 1609, IN SAN DIEGO COUNTY, STATE OF CALIFORNIA

PROJECT DESCRIPTION
PROJECT SITE IS DESIGNATED AS "GC" (GENERAL COMMERCIAL) PROPOSED TO "HC" (HEAVY COMMERCIAL). THE PROJECT CONSISTS OF A CONSTRUCTION STORAGE SITE WHICH IS PROPOSING A SINGLE STORY CONTRACTOR EQUIPMENT STORAGE WAREHOUSE BUILDING. THE BUILDING HAS 30 SF OF GENERAL OFFICE SPACE & TOTAL PARKING SPACES ARE PROVIDED, ONE BEING VAN ACCESSIBLE.

PROJECT A.P.N.
480-021-72

PROJECT ADDRESS
3450 WEST STREET

PROJECT OWNER
CETRION INC.
2835 CANYON DEL RIO S, SUITE 220
SAN DIEGO, CA 92108 PHONE 619 295-1100

Notes
PDP 06-011
ZA 06-002
GPA 06-002

PLAN CHECK COMMENTS	5/1/2022
SUBMITTAL	2/24/2021

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CONTRACTOR'S STORAGE WAREHOUSE

2450 WEST STREET
LEMONGROVE, CA 92122

SITE PLAN

Project No. Sheet No.
A-0.2



1



5



8



11



2



6



9



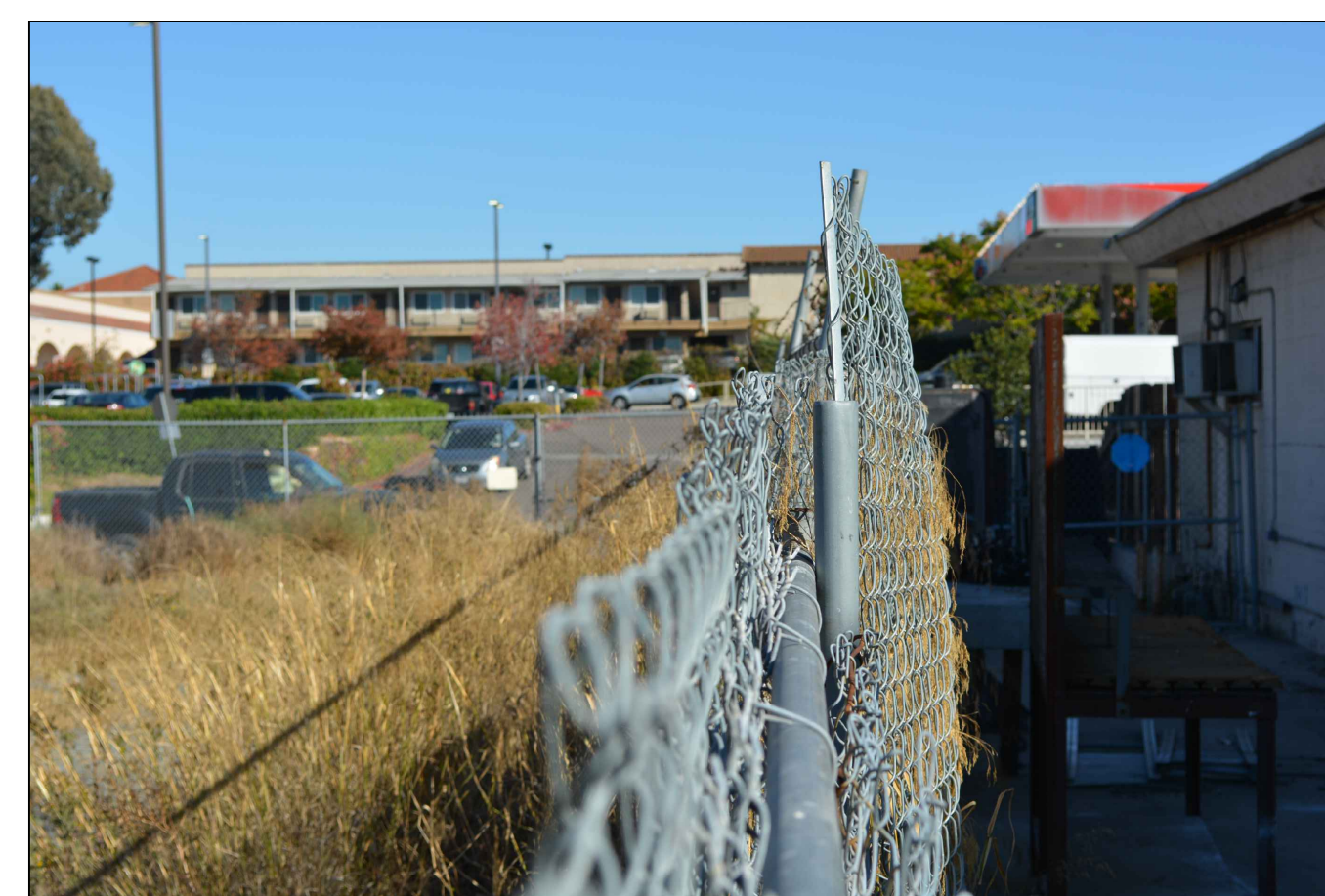
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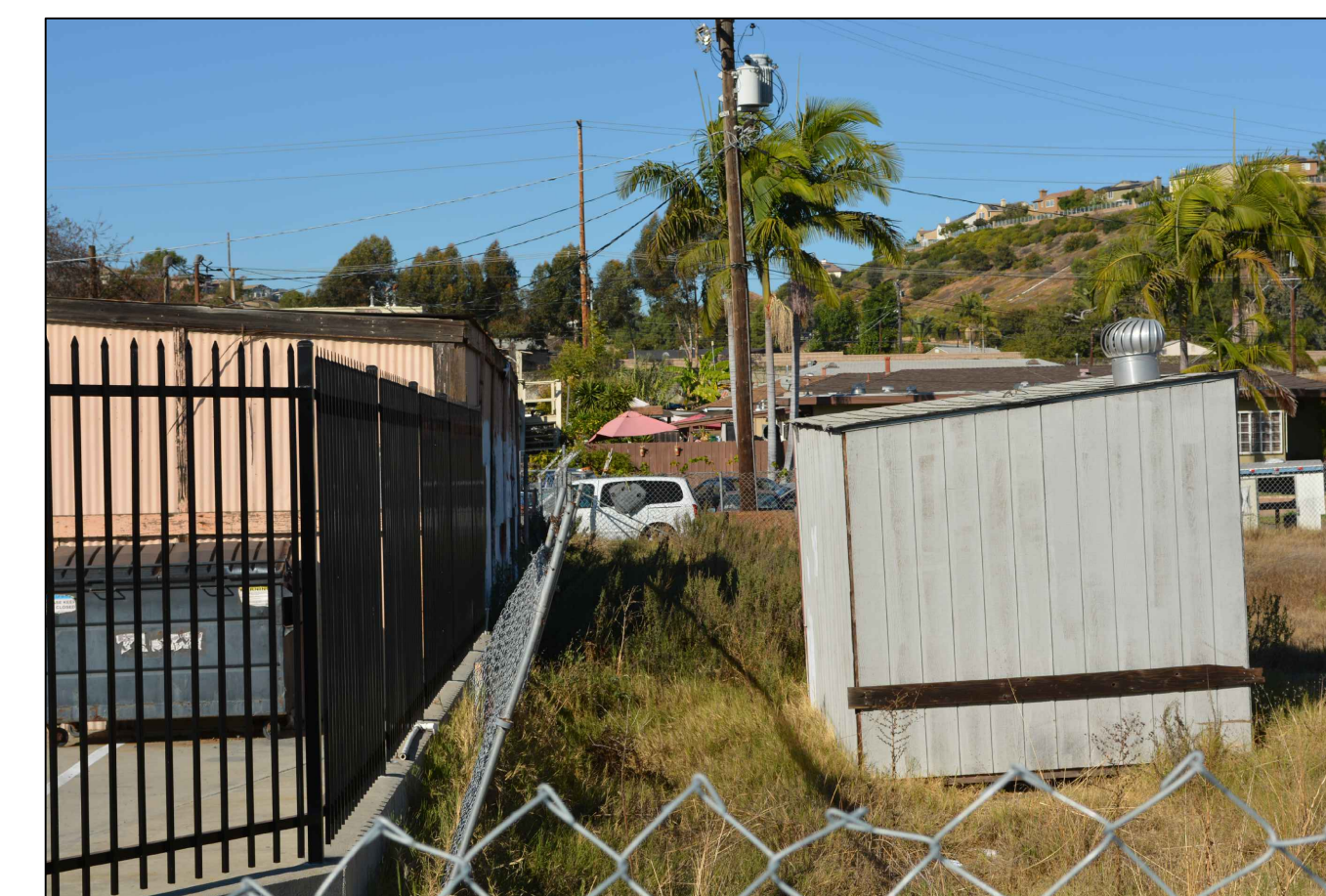
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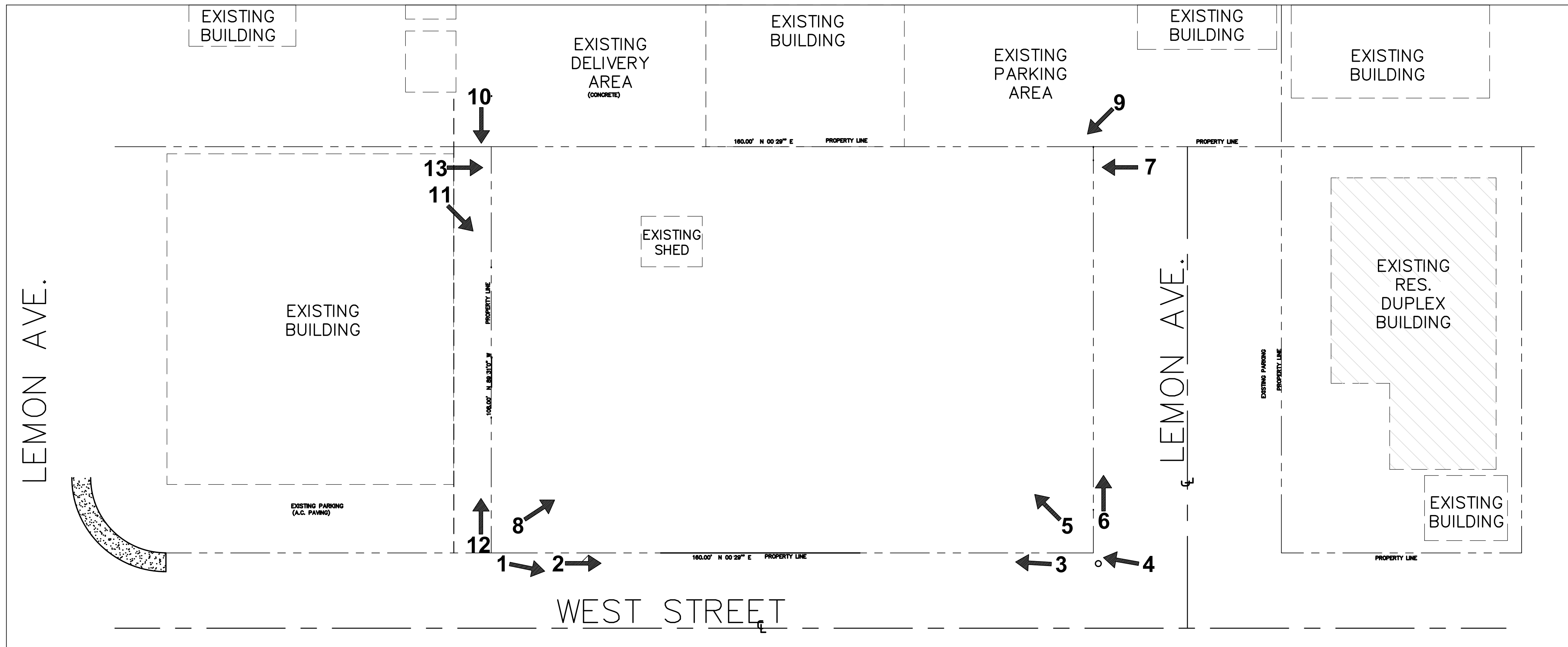
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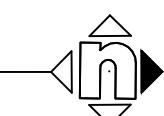
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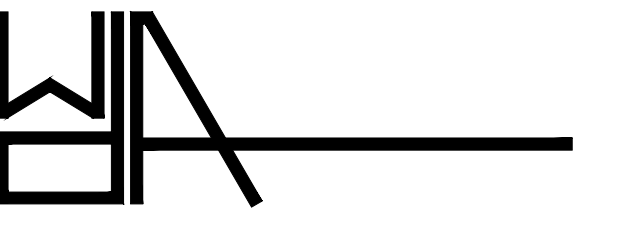
SITE PHOTO REFERENCE POINTS

REFERENCE SITE PLAN

NTS



Rev.	RE-SUBMITTAL	10/1/2021
	SUBMITTAL	2/24/2021
	Date	By



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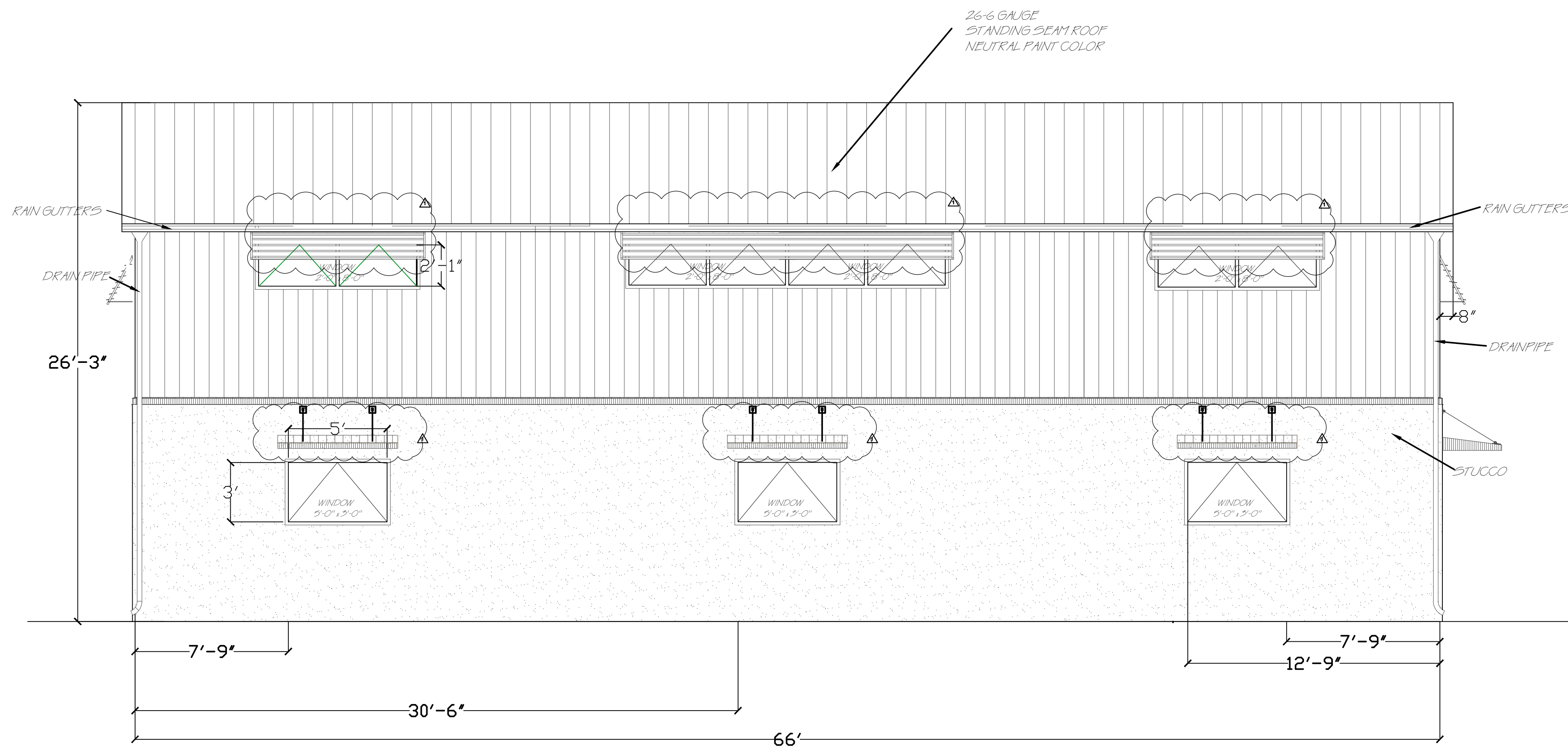
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Scale: Date 2/21/2021

**CONTRACTOR'S
STORAGE
WAREHOUSE**

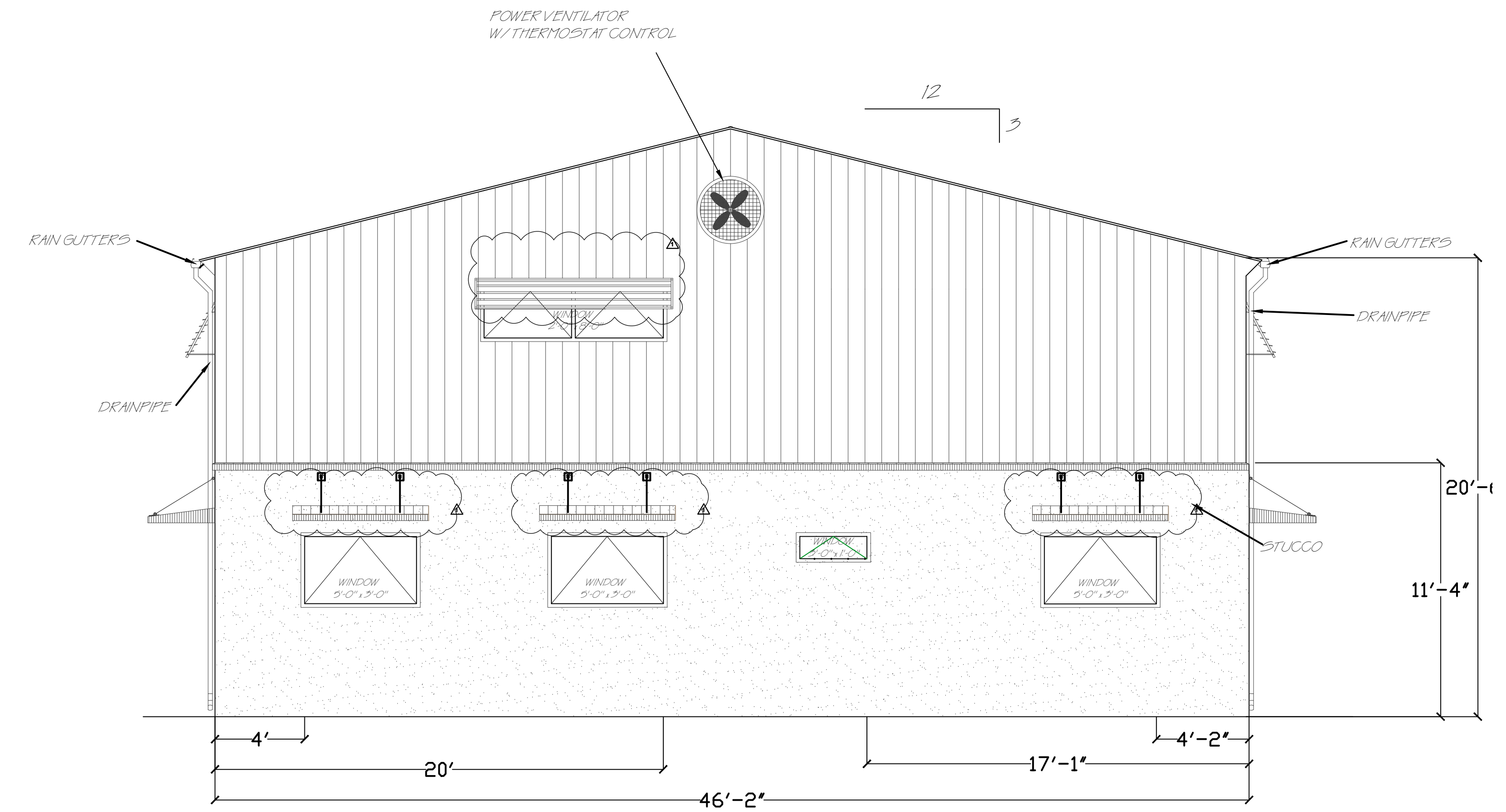
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LEMON GROVE, CA 92122

PHOTO SURVEY



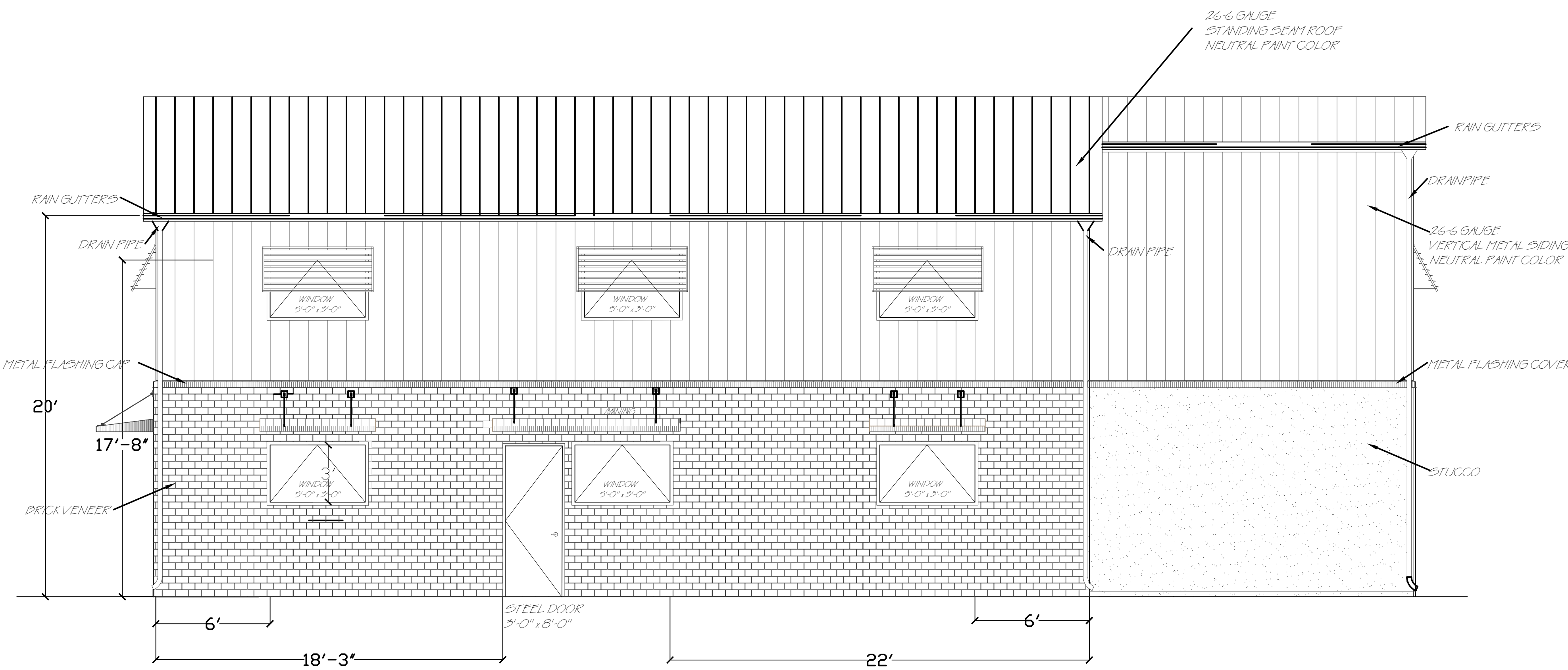
WEST ELEVATION

SCALE: 1/4" = 1'-0"



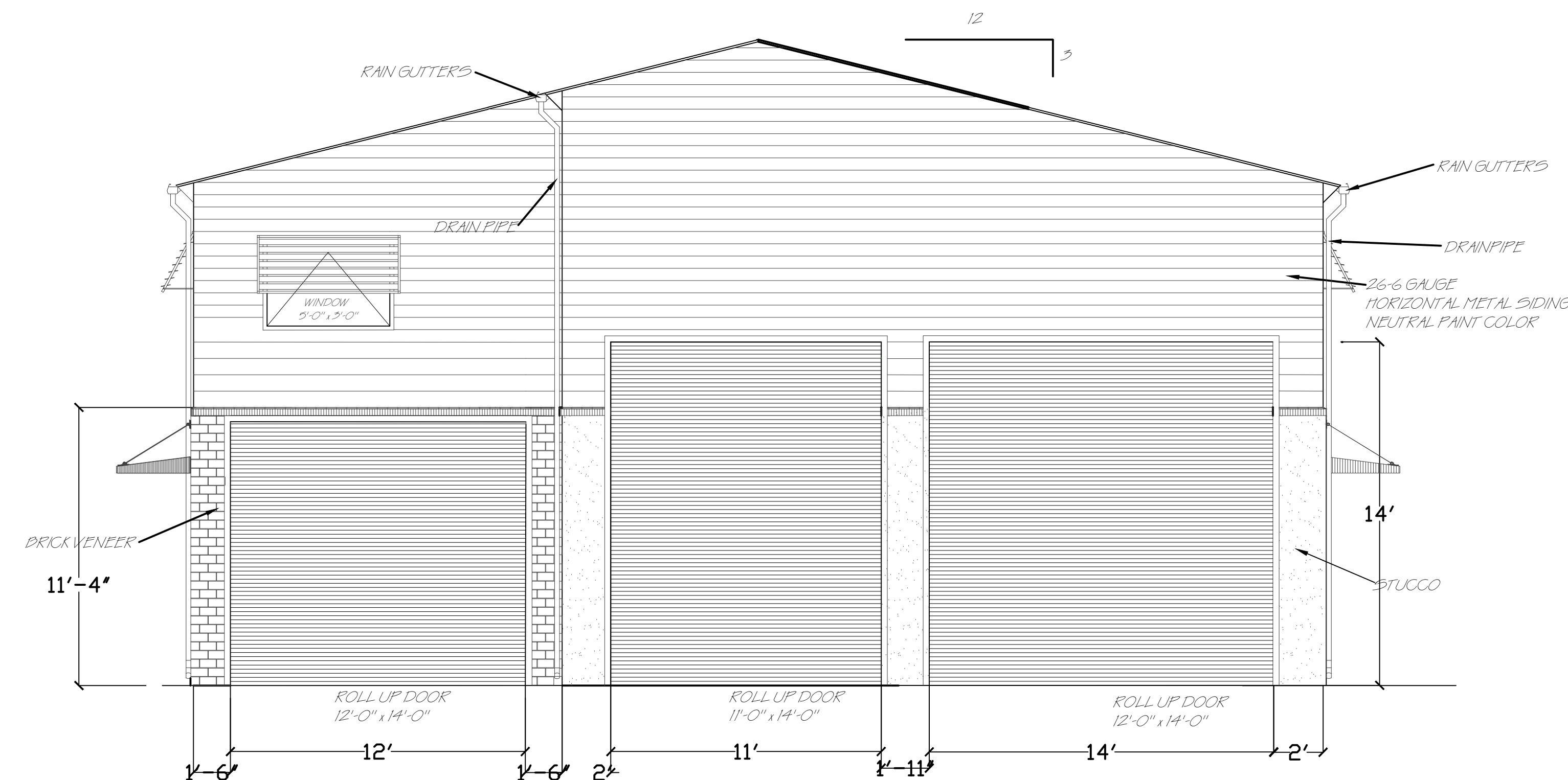
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

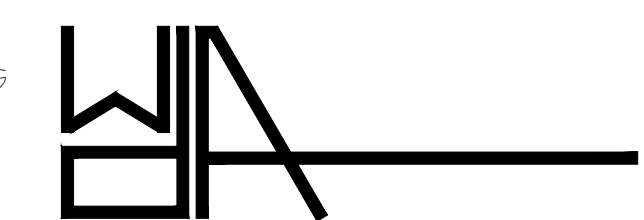
SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

RE-SUBMITTAL	10/1/2021
SUBMITTAL	2/24/2021
Rev.	Date By



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**CONTRACTOR'S
STORAGE
WAREHOUSE**

2450 WEST STREET
LEMON GROVE, CA 92122

ELEVATIONS



EAST ELEVATION AT STREET
 SCALE: 3/16" = 1'-0"

△	PLAN CHECK COMMENTS	5/1/2022
△	RE-SUBMITTAL	10/1/2021
△	PLANNING REVISION	6/24/2021
△	SUBMITTAL	2/24/2021

Rev. _____ Date _____ By _____



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**CONTRACTOR'S
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**2450 WEST STREET
 LEMON GROVE, CA 92122**

ELEVATIONS

Project No. _____ Sheet No. **A3.2**

CONTRACTOR WAREHOUSE

PRELIMINARY GRADING PLAN - CITY OF LEMON GROVE

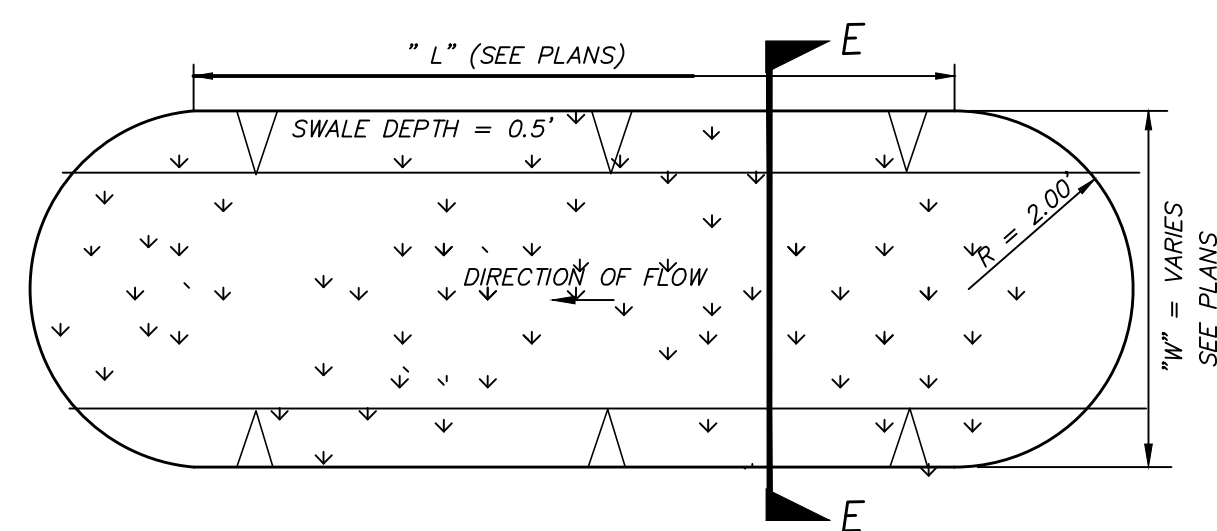
PAVING LEGEND

	ASPHALT OVERLAY/REPAIR (PER GOETECH REPORT)	1,148 SF
	CONCRETE SURFACE	3,734 SF
	CONCRETE CROSS GUTTER	89 SF
	CONCRETE CURB, GUTTER, DRIVEWAY & SIDEWALK	1,383 SF
	AGGREGATE SURFACE	4,627 SF
	GRAVELPAVE	941 SF
	LANDSCAPE	2,140 SF
	BUILDING (SEPARATE PERMIT)	2,670 SF
	CONCRETE PAD (SEPARATE PERMIT)	2,198 SF

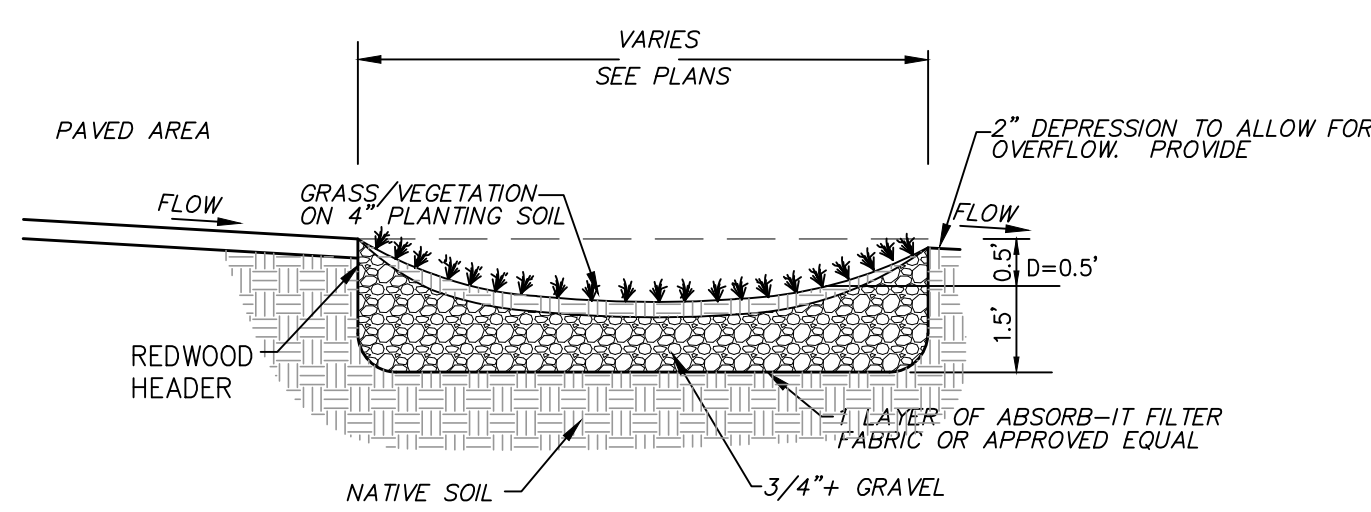
TOTAL PROJECT NEW OR REPLACED IMPERVIOUS AREA: 9,874 SF
 EXISTING ONSITE IMPERVIOUS AREA: 3,875 SF
 EXISTING ONSITE PERVIOUS AREA: 13,549 SF

GRADING NOTES:

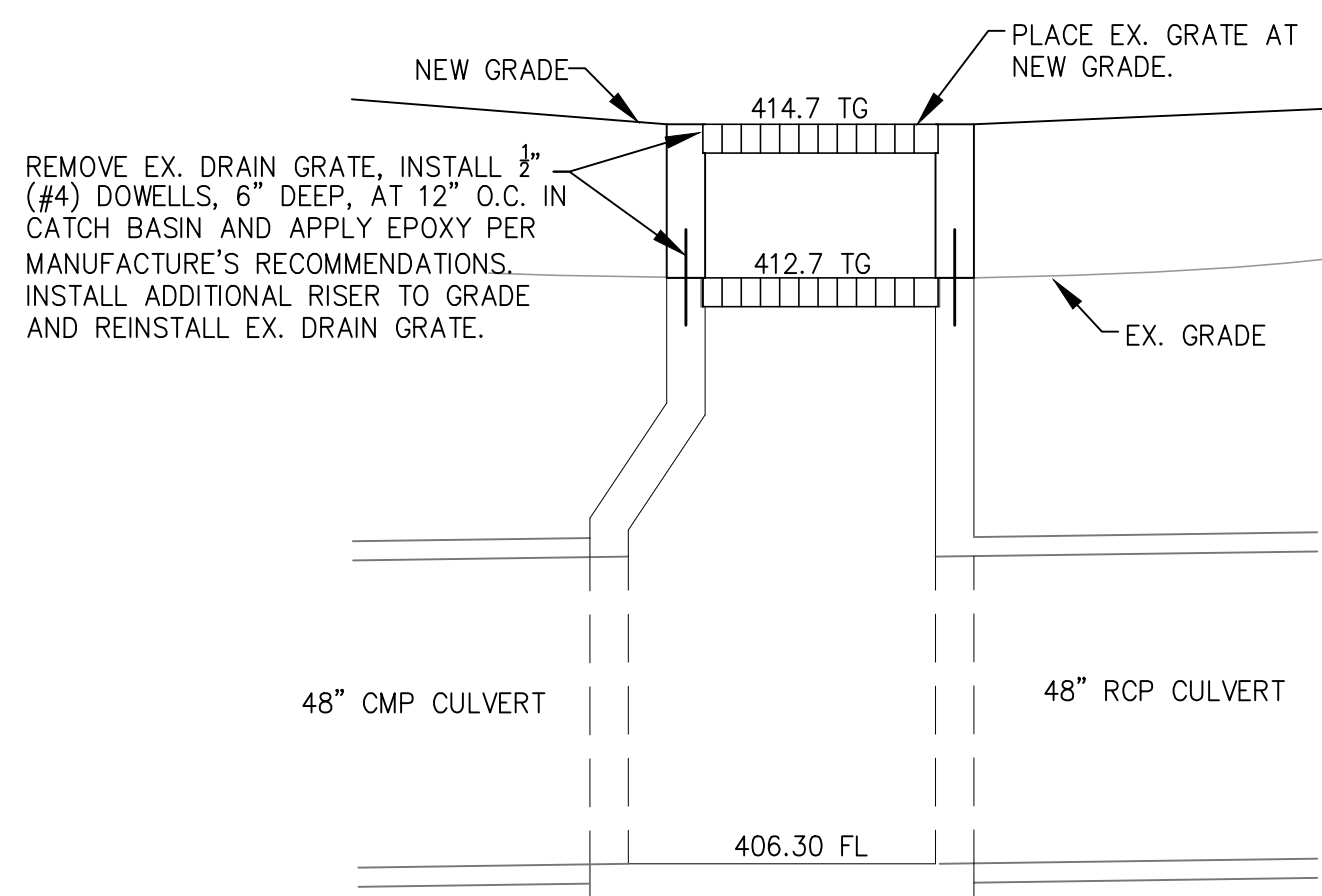
- CONTRACTOR'S WAREHOUSE BUILDING AND CONCRETE SLAB ARE PER SEPARATE PERMIT.
- GRADING ABOVE THE EX. 48" RCP STORM DRAIN SHALL BE MINIMAL. PER GEOTECHNICAL ENGINEER'S RECOMMENDATION, SCARIFY EXPOSED SURFACES AND MOISTURE CONDITION PRIOR TO PLACING FILL.
- IF THE SOIL ABOVE THE EXISTING STORM DRAIN PIPE IS FOUND TO BE OF INSUFFICIENT DENSITY, THE SOIL SHALL BE REMOVED AND RECOMPACTED (USING A LIGHT WEIGHT WALK BEHIND COMPACTOR) AS NECESSARY TO MEET 90% COMPACTION REQUIREMENTS ON OTHER REQUIREMENTS AS DETERMINED BY THE SOIL'S ENGINEER OF RECORD.
- DRIVEWAYS WILL SLOPE TOWARDS THE LANDSCAPE PLANTERS, AND LANDSCAPE DRAINS WILL BE PROVIDED AND DEPRESSED TO CAPTURE FLOWS IN THE PLANTER. 6" DRAIN PIPES WILL CONVEY RUNOFF FROM THE PLANTERS TO THE EXISTING STORM DRAIN INLET.



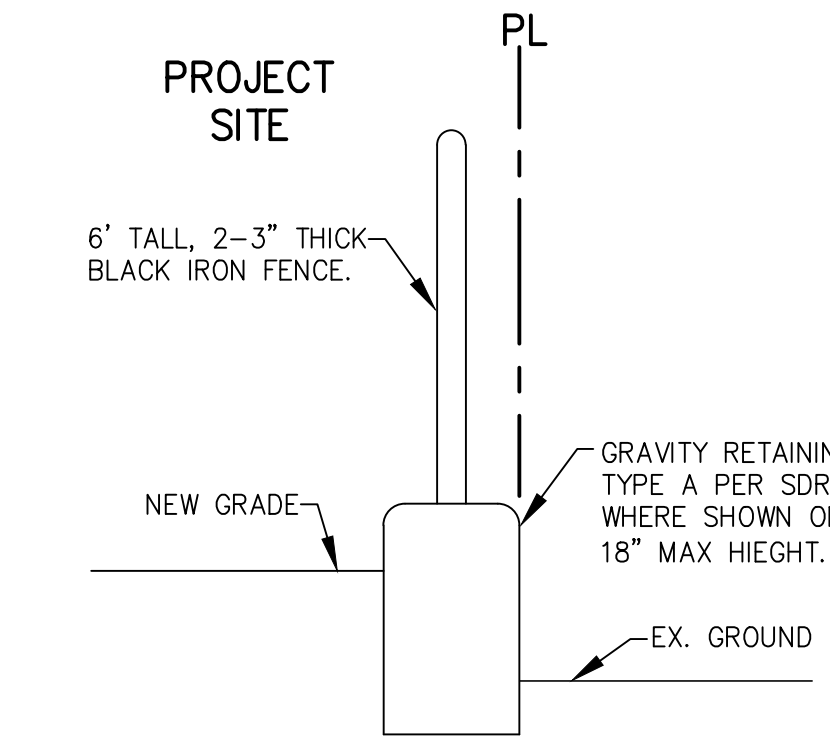
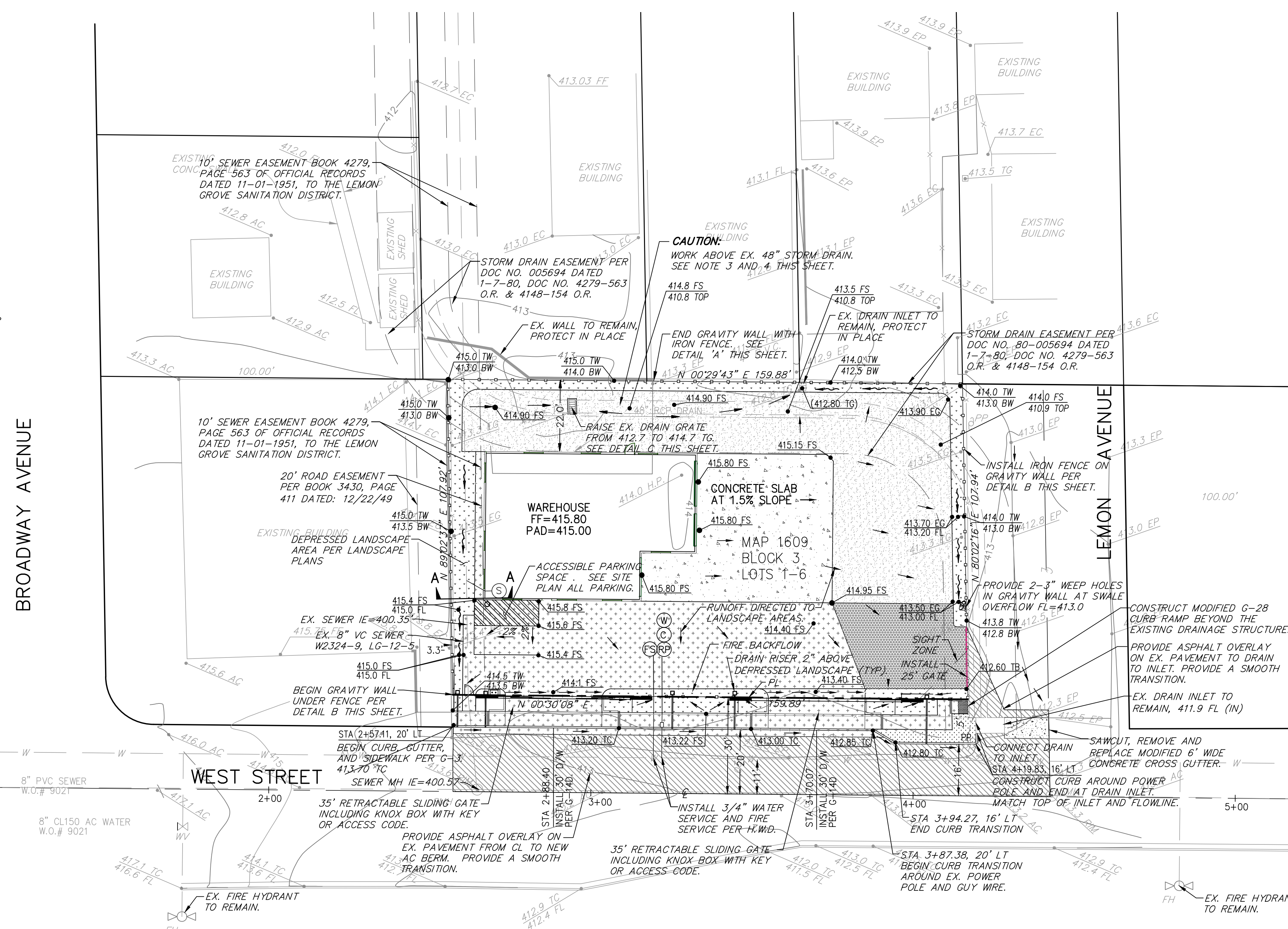
DETAIL 'A'
 DEPRESSED LANDSCAPE/PLAN VIEW
 NOT TO SCALE



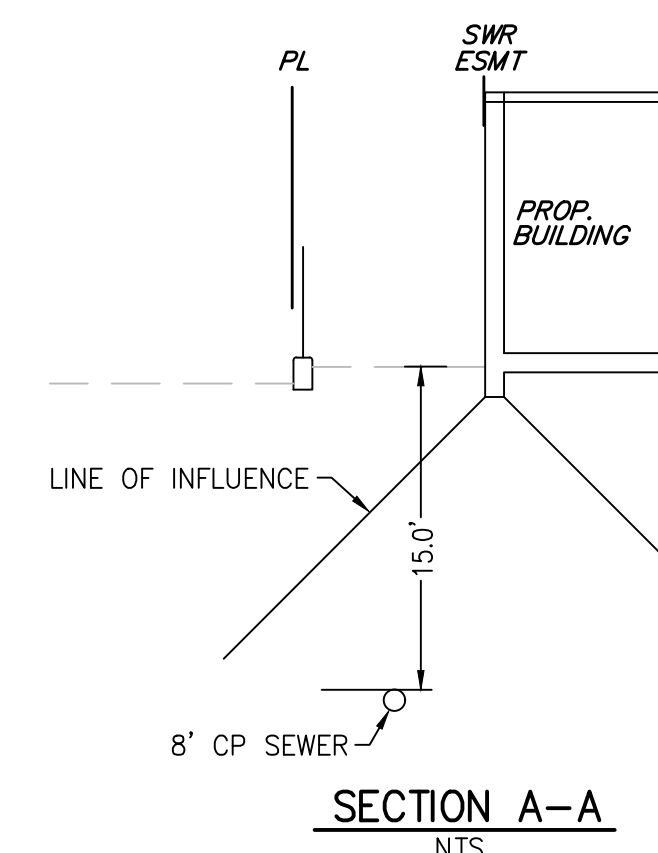
SECTION 'E-E'
 DEPRESSED LANDSCAPE AREA
 NOT TO SCALE



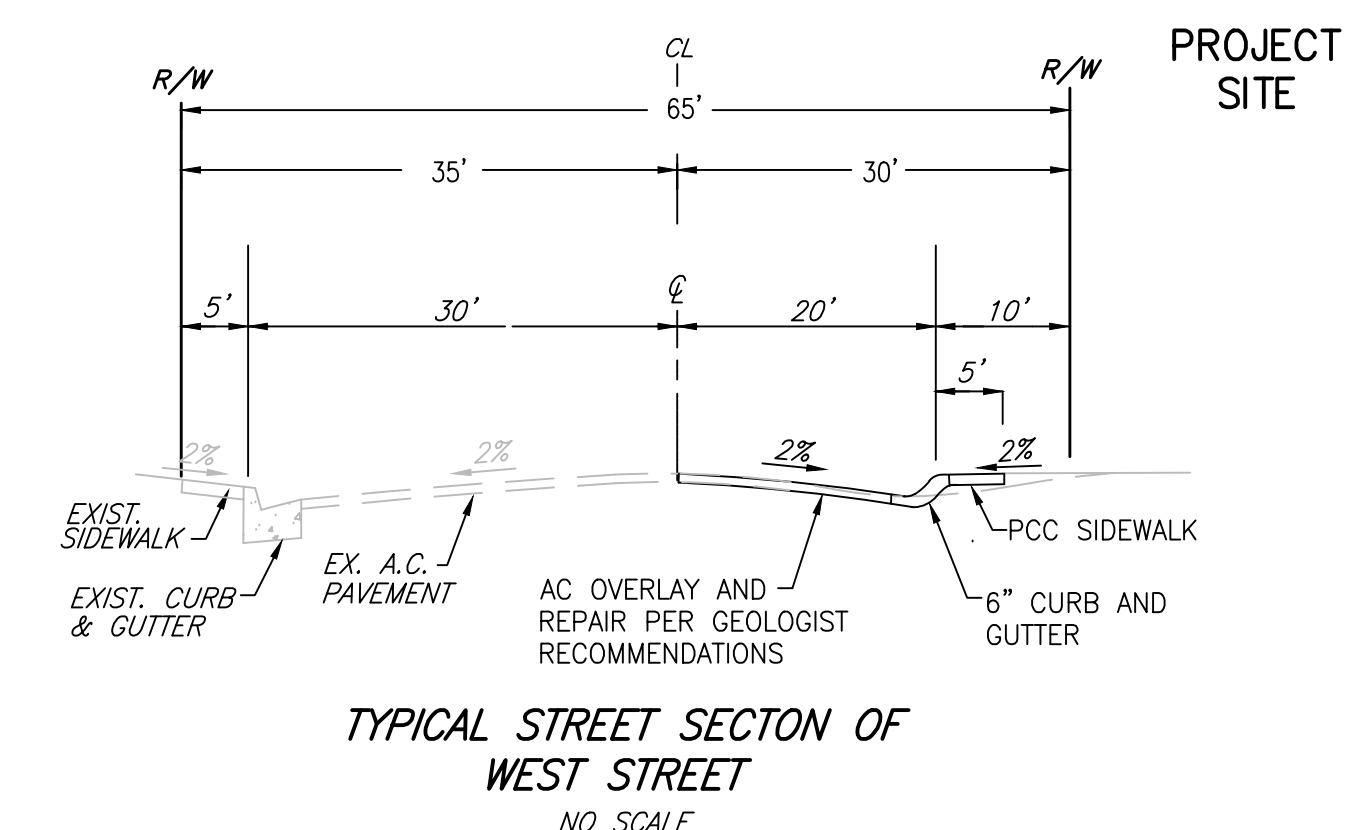
'DETAIL C'
 CATCH BASIN MODIFICATION
 NTS



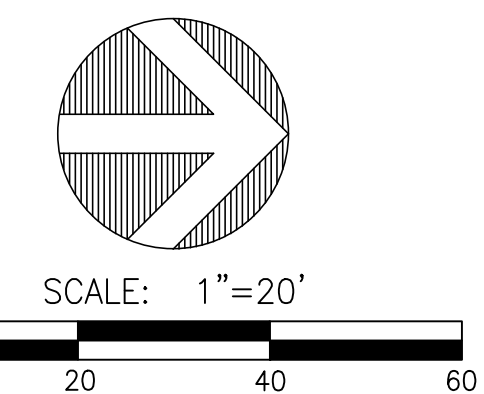
'DETAIL B'
 NTS



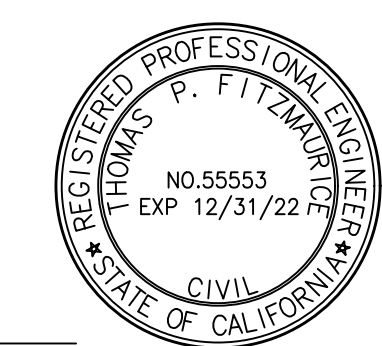
SECTION A-A
 NTS



TYPICAL STREET SECTION OF WEST STREET
 NO SCALE



ENGINEER OF WORK



THOMAS P. FITZMAURICE R.C.E. 55553 DATE
 EXPIRES ON 12/31/22

PREPARED BY:
FITZMAURICE CONSULTING
 -CIVIL ENGINEERING-
 3529 RIVIERA DRIVE
 SAN DIEGO, CALIFORNIA 92109
 (858) 752-2393
 FCC92109@gmail.com

PRELIMINARY GRADING PLAN FOR	
3450 WEST STREET	
CONTRACTOR'S WAREHOUSE	APN 480-021-72
CITY OF LEMON GROVE, CALIFORNIA	PUBLIC WORKS DEPARTMENT
SHEET OF SHEETS	CONTRACT NO.
APPROVED:	DATE
PATRICK LUND-CITY ENGINEER	DATE
DEPARTMENT HEAD	PROJECT MANAGER
DESCRIPTION	DRAWN BY
APPROVED	DATE
FILED	
ORIGINAL	
AS-BUILT	
CONTRACTOR	DATE STARTED
INSPECTOR	DATE COMPLETED

CONSTRUCTION RECORD	REFERENCES	DATE	BY	REVISIONS	ACPTD	BENCH MARK	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	REVIEWED	DIG ALERT
CONTRACTOR						A CHISELED SQUARE 75' SOUTHERLY OF THE INTERSECTION OF BROADWAY AND WEST STREET. ELEVATION: 426.65 DATUM: MEAN SEA LEVEL	HORIZ:	PLANS PREPARED UNDER THE SUPERVISION OF			BY	CONTRACTOR MUST NOTIFY THE BELOW LISTED AGENCY AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION: UNDERGROUND SERVICE ALERT (USA) 1-800-422-4133
INSPECTOR							VERT:	RLA NO.	DATE EXPIRES		PROJECT ENGINEER	

NOTES:

ALL LANDSCAPE AND IRRIGATION AREAS SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

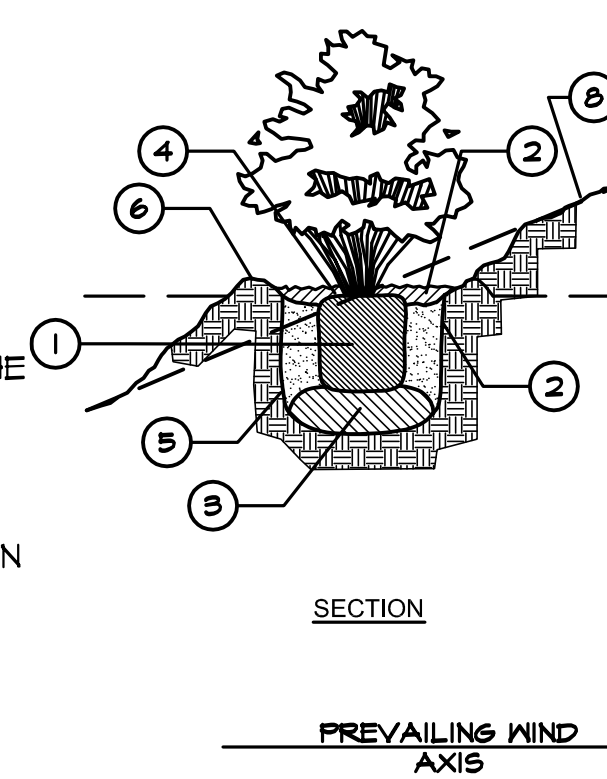
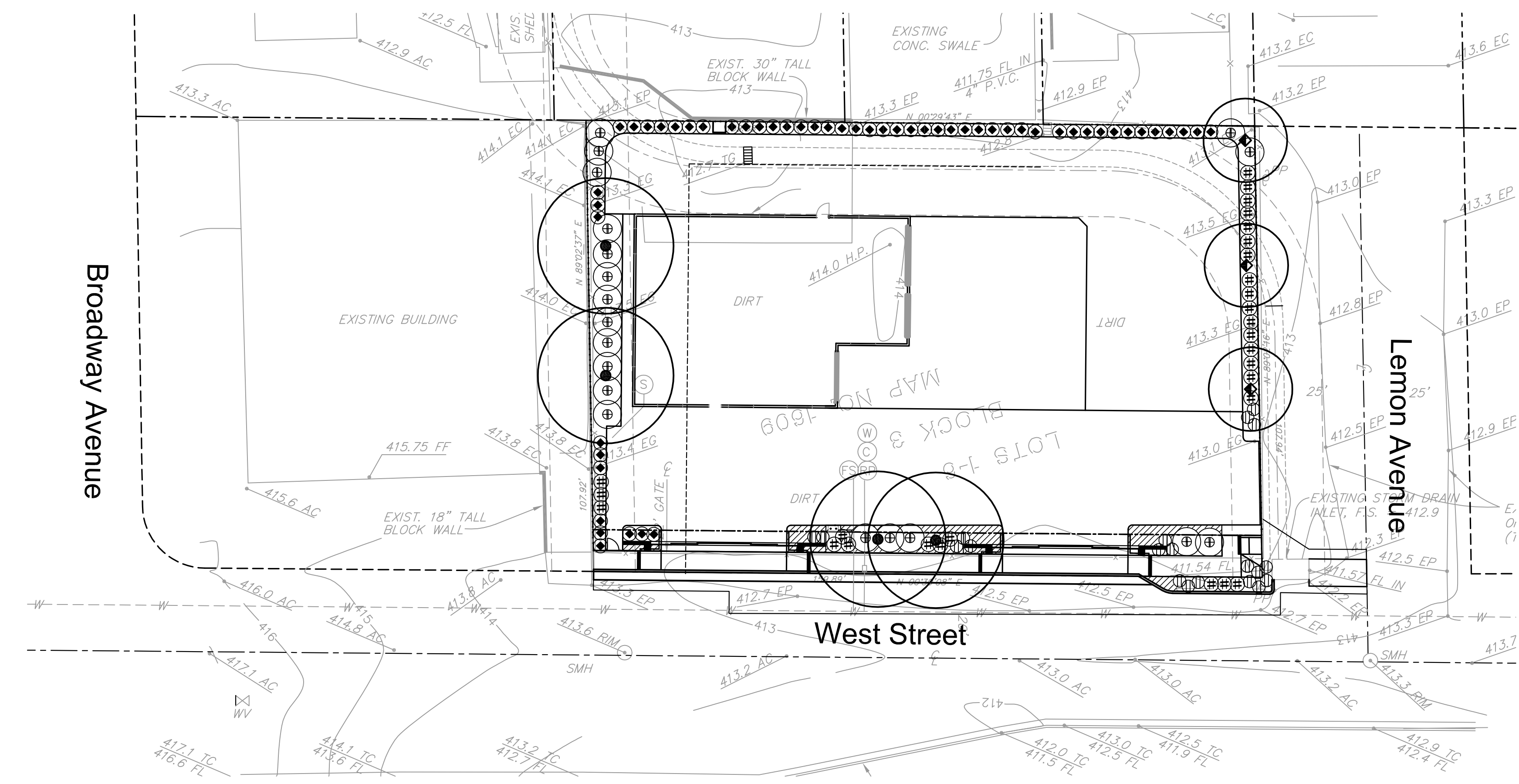
1. ALL LANDSCAPE AREAS NOT CONTAINING TREES SHALL HAVE A MINIMUM FINISHED DIMENSION OF 3 FEET (WIDTH) MEASURED FROM THE INSIDE FACE OF PAVEMENT.
2. EACH TREE SHALL BE PLANTED IN AN AIR AND WATER PERMEABLE PLANTING AREA OF AT LEAST 40 SQUARE FEET WITH A MINIMUM FINISHED DIMENSION (WIDTH) OF 5 FEET MEASURED FROM THE INSIDE FACE OF PAVEMENT. THE PLANTING SHALL BE UNENCUMBERED BY UTILITIES.
3. ALL VEHICLE USE AREAS (VUA) SHALL HAVE A MINIMUM OF ONE TREE WITHIN 30 FEET OF EACH DESIGNATED PARKING SPACE.
4. ALL PAVEMENT WITHIN 5 FEET OF A TREE SHALL BE LINED WITH A DEEP ROOT BARRIER ALONG THE EDGE OF THE HARDSCAPE.
5. SOIL SURFACE WILL BE A COMBINATION OF BARE TAMPED DECOMPOSED GRANITE, WHICH IS NOT TO BE MULCHED, AND A 3" MIN. DEEP LAYER OF SHREDDED TREE SERVICE OR WOOD MULCH FOR A NATURALISTIC AND ARTISTIC EFFECT. DISTRIBUTION SHALL BE DECIDED BY THE CONTRACTOR / DESIGNER (PLANTS COMPREHENSIVE) AT TIME OF INSTALLATION.
6. ANY CHANGES TO THE SITE AND/OR LANDSCAPE PLANS SHALL BE SUBMITTED TO THE CITY LANDSCAPE PLANNER FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING.
7. ANY DISCREPANCIES OR CONFLICTS IN DIMENSIONS, LANDSCAPE AREA OR MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE CITY LANDSCAPE PLANNER, THE OWNERS, AND THE DESIGNER/ARCHITECT PRIOR TO INSTALLATION.
8. TREES REQUIRED BY THIS DIVISION SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL-DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
9. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE. THE IRRIGATION SYSTEM WILL UTILIZE BELOW SURFACE DRIP EMITTERS.
10. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
10. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS; THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.

ADDITIONAL CITY NOTES:

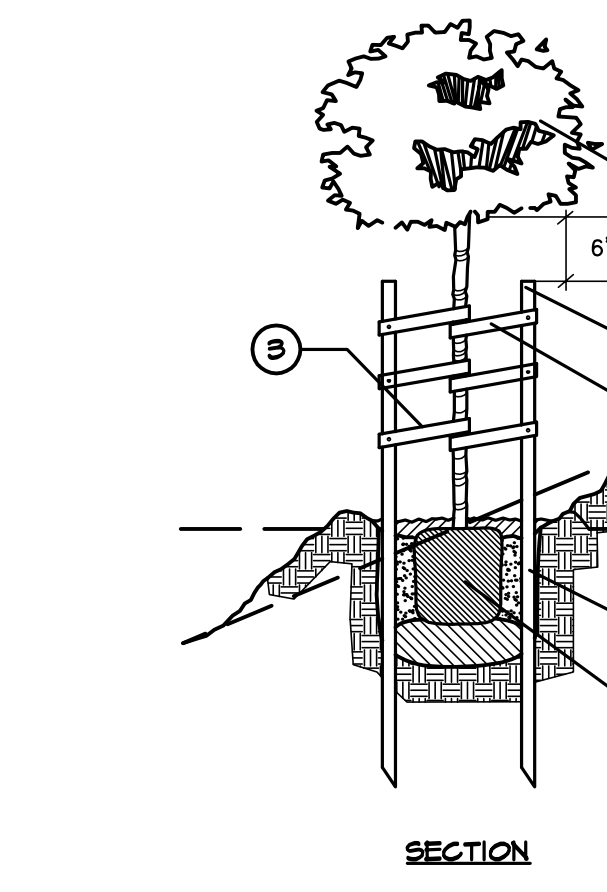
1. PRIOR TO ISSUANCE OF PUBLIC RIGHT-OF-WAY PERMITS, THE OWNER/PERMITTEE SHALL SUBMIT COMPLETE LANDSCAPE CONSTRUCTION DOCUMENTS DEMONSTRATING THE RIGHT-OF-WAY IMPROVEMENTS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. IMPROVEMENT PLANS SHALL INDICATE AN AREA EQUAL TO 40 SQUARE FEET AROUND EACH TREE WHICH IS UNENCUMBERED BY UTILITIES, DRIVENWAYS, UTILITIES, DRAINS, WATER AND SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES.
2. PRIOR TO ISSUANCE OF BUILDING PERMITS, THE OWNER/PERMITTEE SHALL SUBMIT COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS CONSISTENT WITH THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. THE CONSTRUCTION DOCUMENTS SHALL BE IN SUBSTANTIAL CONFORMANCE WITH EXHIBIT "A," LANDSCAPE DEVELOPMENT PLAN, ON FILE IN THE OFFICE OF THE DEVELOPMENT SERVICES DEPARTMENT.
3. PRIOR TO THE PERFORMANCE OF A FINAL INSPECTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER/PERMITTEE TO INSTALL ALL REQUIRED LANDSCAPE. A "NO FEE" STREET TREE PERMIT, IF APPLICABLE, SHALL BE OBTAINED FOR THE INSTALLATION, ESTABLISHMENT, AND ON-GOING MAINTENANCE OF ALL STREET TREES.
4. THE OWNER SHALL MAINTAIN ALL LANDSCAPE IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED. THE TREES SHALL BE MAINTAINED IN A SAFE MANNER TO ALLOW EACH TREE TO GROW TO ITS MATURE HEIGHT AND SPREAD. THE LANDSCAPE SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
5. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AND IRRIGATION IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS.
6. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE OWNER/PERMITTEE IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY LANDSCAPE IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR PRIOR TO THE PERFORMANCE OF A FINAL LANDSCAPE INSPECTION.

MINIMUM STREET TREE SEPARATION DISTANCE	
IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS AND STOP SIGNS	20'
UNDERGROUND UTILITY LINES	5'
ABOVEGROUND UTILITY LINES	10'
DRIVEWAY ENTRIES	10'
INTERSECTIONS	25'
SEWER LINES	10'

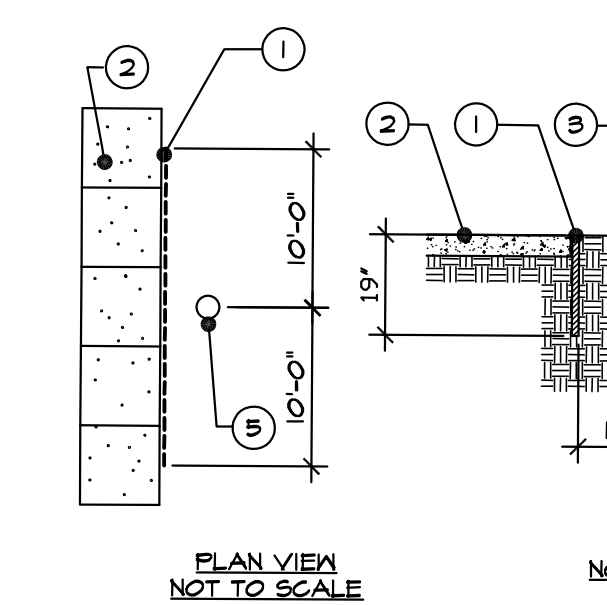
- LANDSCAPE MAINTENANCE SCHEDULE:** (MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER)
1. KEEP SITE FREE OF TRASH AND DEBRIS - ONCE/WEEK
 2. PRUNE DEAD BRANCHES/DEADHEAD FLOWERS - ONCE/WEEK
 3. WEEDING, ERADICATING INVASIVE SPECIES - ONCE/WEEK
 4. REMOVE DEAD, DYING OR DISEASED VEGETATION, AND REPLACE REPLACEMENT OF DEAD VEGETATION SHALL BE IN KIND TO PRESERVE HYDROZONES - CONSTANT/ONGOING
 5. INSPECT ALL AREAS TO GUARD AGAINST RUNOFF AND EROSION - CONSTANT/ONGOING
 6. REPLENISH MULCH - ONCE/YEAR
 7. MAINTAIN RIGHT OF WAY AREA TO AVOID OBSTRUCTION OF MOTORIST'S VIEW.



A SHRUB PLANTING
NOT TO SCALE

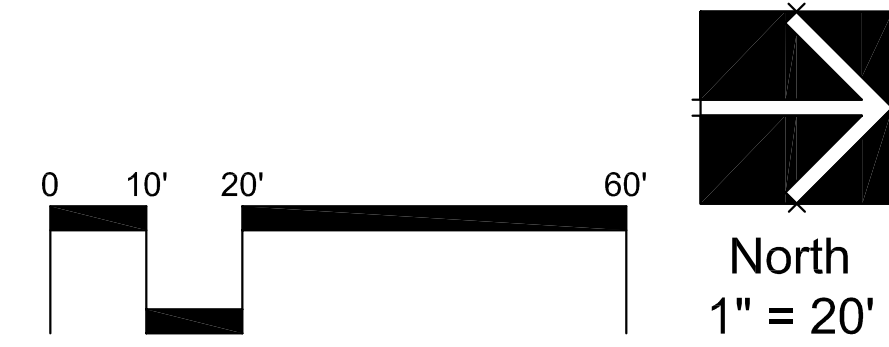


B TREE STAKING
NOT TO SCALE



C ROOT BARRIER
NOT TO SCALE

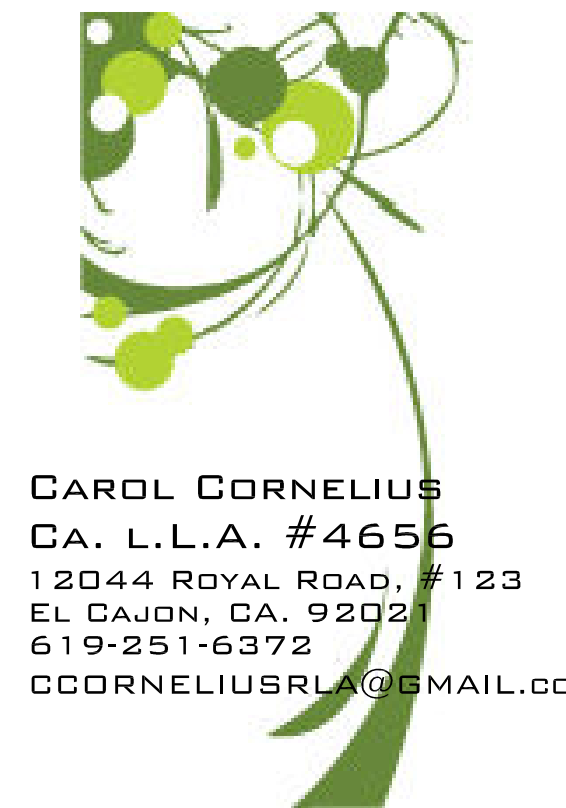
- 1 TREE OR SHRUB ROOTBALL
- 2 DIG HOLE 2X WIDTH AND DEPTH OF ROOTBALL AND FILL WITH WATER AND ALLOW TO PERCOLATE INTO SUBSOIL.
- 3 FILL HOLE WITH 6" DEPTH NATIVE BACKFILL MATERIAL. TAMP AND MOUND SLIGHTLY.
- 4 SET ROOT BALL IN HOLE SO THAT ROOT CROWN IS 1" ABOVE FINISH GRADE.
- 5 REPLACE BACKFILL MATERIAL (PER SPECIFICATIONS) UP TO 2/3 THE HEIGHT OF THE ROOT BALL, TAMPING AND SETTLING AROUND REMAINING 1/3 OF ROOT BALL.
- 6 CREATE IRRIGATION BASIN A MINIMUM OF 6" BEYOND SIDES OF ROOT BALL.
- 7 IRRIGATE FROM TOP TO SETTLE BACKFILL AND BERM, FILLING BASIN.
- 8 FINISH GRADE



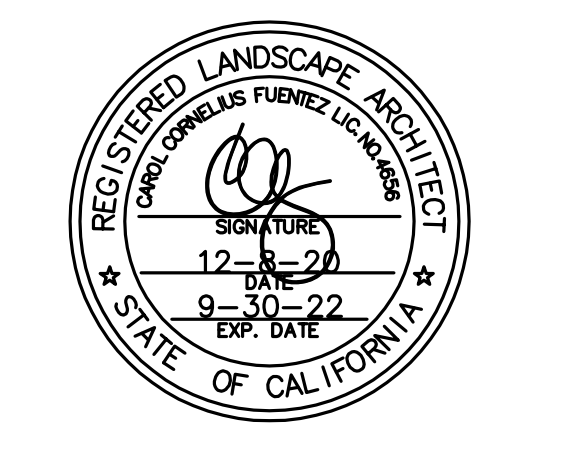
PLANT LEGEND

NOTE: ALL LANDSCAPING SHALL BE (1) DROUGHT TOLERANT AND NATIVE OR (2) NON-INVASIVE PLANT SPECIES (I.E. NO PLANT SPECIES LISTED AS PROBLEMATIC AND/OR INVASIVE BY THE CALIFORNIA NATIVE PLANT SOCIETY, THE CALIFORNIA EXOTIC PEST PLANT COUNCIL, OR AS MAY BE IDENTIFIED FROM TIME TO TIME BY THE STATE OF CALIFORNIA, SHALL BE EMPLOYED OR ALLOWED TO NATURALIZE OR PERSIST ON THE SITE. NO PLANT SPECIES LISTED AS TOXIC/NOXIOUS NEED BY THE STATE OF CALIFORNIA OR THE U.S. FEDERAL GOVERNMENT SHALL BE UTILIZED WITHIN THE PROPERTY.

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USAGE
TREES					
●	QUERCUS AGRIIFOLIA	COAST LIVE OAK	24" BOX	4	LOW
◆	AGONIS FLEXUOSA	PEPPERMINT TREE	24" BOX	3	LOW
SHRUBS					
⊕	LAVATERA ASSURGENTIFLORA	ISLAND TREE MALLOW	15 GALLON	22	LOW
⊖	MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GALLON	18	LOW
⊕	MULLENBERGIA RIGENS	DEER GRASS	1 GALLON	51	LOW
⊕	SALVIA GLEY. - 'CELESTIAL BLUE'	CLEVELAND SAGE	5 GALLON	30	LOW
GROUND COVER					
⊕	MYOP. PARVIFOLIUM PUTAH CREEK	PROSTRATE MYOPORIUM	IN ALL PLTS. AREAS, FLT. @ 10' OC.		LOW



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EL CAJON, CA. 92022
619-251-6372
CCORNELIUSRL@GMAIL.COM



Rev. _____ Date By _____

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Drawn By _____ Approved _____
Scale _____ Date _____

CONSTRUCTORS STORAGE WAREHOUSE
3450 WEST STREET
LEMON GROVE, CA 92122

Sheet Title
Landscape Concept Plan
Project No. _____ Sheet No. _____
L-1

DATE: 12/8/20
DRAWN BY: CCF
JOB NUMBER: 09018
FILE: COMM/WEST/ LCP
REVISIONS: